

PRELIMINARY PLAN NOTES:

1. THIS PLAN LIES WITHIN THE CITY OF PFLUGERVILLE FULL PURPOSE JURISDICTION — GB1 ZONING.
2. THE WATER AND WASTEWATER ARE PROVIDED BY THE CITY OF PFLUGERVILLE. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO WATER AND WASTEWATER FACILITIES.
3. A 10–FT PUBLIC UTILITY EASEMENT (P.U.E.) SHALL BE DEDICATED ALONG ALL STREET FRONTAGE(S).
4. EASEMENT(S) DEDICATED TO THE PUBLIC BY THIS PLAN SHALL ALSO BE SUBJECT TO THE TERMS AND CONDITIONS OF THE ENGINEERING DESIGN MANUAL, AS AMENDED. THE GRANTOR NASRUDDIN MAHESANIA, HEIRS, SUCCESSORS AND ASSIGNS SHALL RETAIN THE OBLIGATION TO MAINTAIN THE SURFACE OF THE EASEMENT PROPERTY, INCLUDING THE OBLIGATION TO REGULARLY MOW OR CUT BACK VEGETATION AND TO KEEP THE SURFACE OF THE EASEMENT PROPERTY FREE OF LITTER, DEBRIS, AND TRASH.
5. NO IMPROVEMENTS INCLUDING BUT NOT LIMITED TO STRUCTURES, FENCES, OR LANDSCAPING SHALL BE ALLOWED IN A PUBLIC EASEMENT, EXCEPT AS APPROVED BY THE CITY.
6. THE PROPERTY OWNER SHALL PROVIDE ACCESS TO DRAINAGE AND UTILITY EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS FOR THE PLACEMENT, CONSTRUCTION, INSTALLATION, REPLACEMENT, REPAIR, MAINTENANCE, RELOCATION, REMOVAL, OPERATION AND INSPECTION OF SUCH DRAINAGE AND UTILITY FACILITIES, AND RELATED APPURTENANCES.
7. A SIX (6) FOOT WIDE SIDEWALK ALONG E OLYMPIC DRIVE AND A TEN (10) FOOT ALONG WELLS BRANCH PARKWAY SHALL BE REQUIRED.
8. THIS SUBDIVISION IS SUBJECT TO ALL CITY OF PFLUGERVILLE ORDINANCES OR TECHNICAL MANUALS RELATED TO TREE PRESERVATION PER CITY ORDINANCE # 1203–15–02–24 AND CITY RESOLUTION # 1224–09–08–25–8A.
9. THE COMMUNITY IMPACT FEE RATE FOR WATER AND WASTEWATER WILL BE ASSESSED AT THE TIME OF FINAL PLAT.
10. ON–SITE STORM WATER FACILITIES SHALL BE PROVIDED TO MITIGATE POST–DEVELOPMENT PEAK RUNOFF RATES FOR THE 2 YEAR, 25 YEAR AND 100 YEAR STORM EVENTS.
11. ALL ELECTRIC UTILITY INFRASTRUCTURE INCLUDING BUT NOT LIMITED TO TELEPHONE, CABLE TELEVISION, ELECTRIC UTILITY LATERAL AND SERVICE LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF PFLUGERVILLE ENGINEERING DESIGN MANUAL.
12. THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF PFLUGERVILLE.
13. CONSTRUCTION PLANS AND SPECIFICATIONS FOR ALL SUBDIVISION IMPROVEMENTS SHALL BE REVIEWED AND APPROVED BY THE CITY OF PFLUGERVILLE PRIOR TO ANY CONSTRUCTION WITHIN THE SUBDIVISION.
14. SITE DEVELOPMENT CONSTRUCTION PLANS SHALL BE REVIEWED AND APPROVED BY THE CITY OF PFLUGERVILLE PRIOR TO ANY CONSTRUCTION.
15. NO PORTION OF THIS TRACT IS WITHIN A FLOOD HAZARD AREA AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP PANEL # 48453C0290J FOR TRAVIS COUNTY, EFFECTIVE AUGUST 18, 2014.
16. ALL PROPOSED FENCES AND WALLS ADJACENT TO INTERSECTING PUBLIC ROADWAY RIGHT–OF–WAY OR ADJACENT TO PRIVATE ACCESS DRIVES SHALL BE IN COMPLIANCE WITH THE SIGHT DISTANCE REQUIREMENTS OF THE CITY OF PFLUGERVILLE ENGINEERING DESIGN MANUAL, AS AMENDED.
17. WASTEWATER AND WATER SYSTEMS SHALL CONFORM TO TCEQ (TEXAS COMMISSION ON ENVIRONMENTAL QUALITY) AND STATE BOARD OF INSURANCE REQUIREMENTS. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR RE–PLATTING MAY BE REQUIRED AT THE OWNER'S SOLE EXPENSE IF PLANS TO DEVELOP THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.
18. ALL EXISTING OVERHEAD WILL BE REQUIRED TO BE PLACED UNDERGROUND AT THE TIME OF SITE DEVELOPMENT.
19. STREETLIGHTS SHALL BE INSTALLED AND IN FULL WORKING ORDER WITH THE PUBLIC IMPROVEMENTS. ALL STREETLIGHTS SHALL BE IN CONFORMANCE WITH ALL CITY OF PFLUGERVILLE ORDINANCES INCLUDING BUT NOT LIMITED TO BEING DOWNCAST AND FULL CUT OFF TYPE.
20. THIS PROJECT CAN NOT OBTAIN CERTIFICATE OF OCCUPANCY UNTIL THE OFFSITE IMPROVEMENTS ALONG OLYMPIC DRIVE ARE CONSTRUCTED BY THE ADJACENT DEVELOPER (2022–18–CON).

BENCHMARK	TYPE USED	ELEVATION	NORTHING	EASTING
#1	60d NAIL IN ASPHALT	691.72 FT.	10128350.62	3151198.83
#2	60d NAIL IN ASPHALT	692.41 FT.	10128128.75	3150715.00

BEARING BASIS:  
TEXAS STATE PLANE COORDINATE SYSTEM, GRID NORTH, CENTRAL  
ZONE (4203), NAD 83. DISTANCES IN US SURVEY FEET (GRID).  
ELEVATION DATA NAVD 88, GEOID 12B.

LOT INFORMATION

TOTAL LOTS PROPOSED: 1  
TOTAL ACREAGE: 4.779 ACRES  
LOT SIZE USE  
1 4.191 ACRES COMMERCIAL  
ZONING GB1 – GENERAL BUSINESS

# OLYMPIC RETAIL CENTER

WELLS BRANCH PARKWAY & OLYMPIC DRIVE  
PFLUGERVILLE, TEXAS 78660

CLIENT  
WELLS BRANCH PROPERTIES LLC  
11940 JOLLYVILLE ROAD, SUITE 110N  
(512) 203-5049

CONSULTING ENGINEERS  
PROFESSIONAL StruCIVIL ENGINEERS  
CONSULTING CIVIL AND STRUCTURAL ENGINEERS  
2205 W. PARMER LN., SUITE 201, AUSTIN, TX 78727  
(512) 238-6422 PSCE@PSCEINC.COM

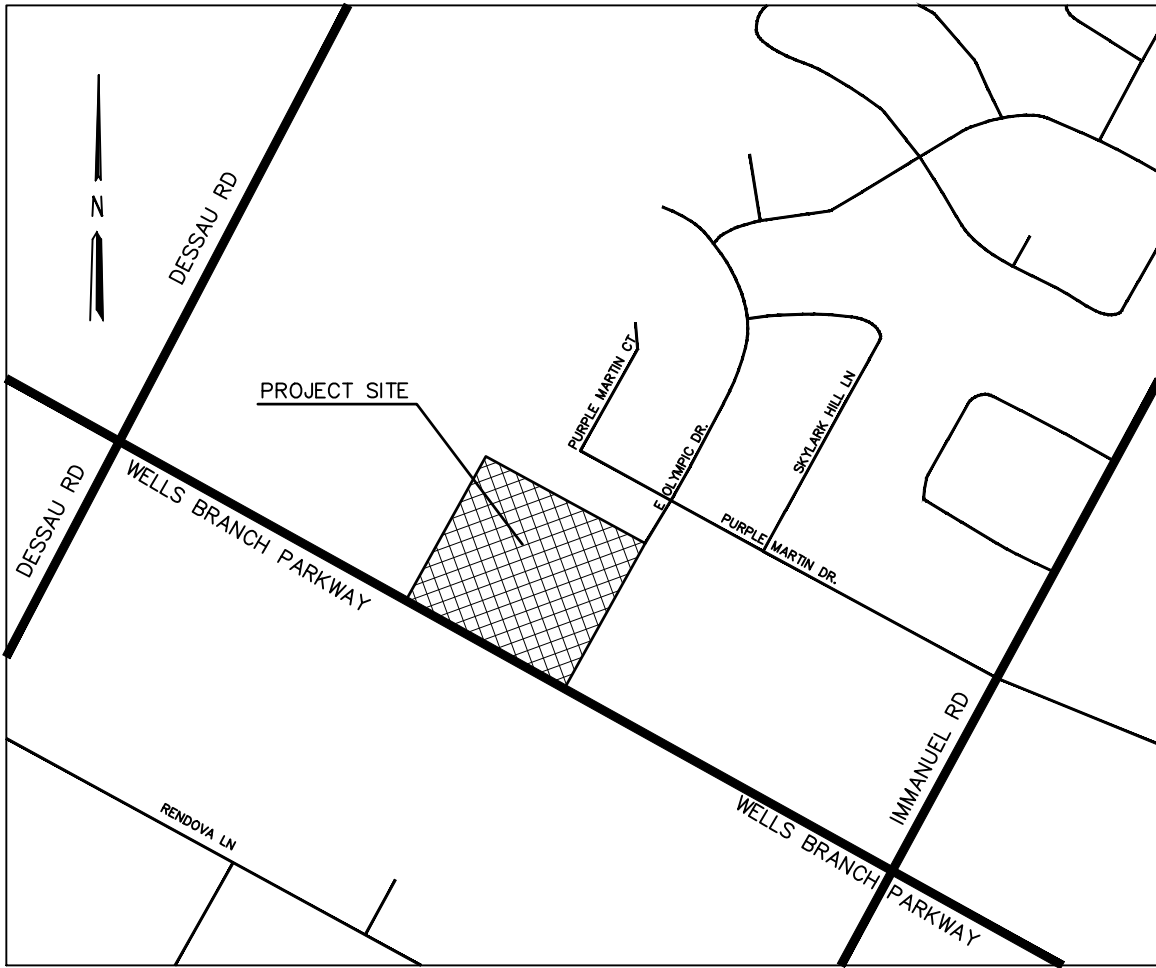
SURVEYOR  
LONE WOLF LAND SURVEYING, LLC  
163 COOL WATER DRIVE, BASTROP, TEXAS 78602

LIST OF DRAWINGS

1. COVER SHEET
2. PRELIMINARY PLAN
3. EXISTING CONDITIONS & PROPOSED CONDITIONS
4. WATER & WASTEWATER UTILITY PLAN
5. EXISTING & PROPOSED DRAINAGE AREA MAP
6. EXISTING & PROPOSED DRAINAGE CALCULATIONS
7. PROPOSED DRAINAGE IMPROVEMENTS
8. EROSION PROTECTION PLAN & TREE SURVEY



THE SEAL APPEARING ON THIS DOCUMENT WAS  
AUTHORIZED BY MIRZA TAHIR BAIG, P.E., #82577  
ON 06/16/2023 FIRM REGISTRATION F–4951



SITE LOCATION MAP

DATE OF SUBMITTAL : JANUARY 09, 2023  
PROJECT TITLE : OLYMPIC RETAIL CENTER – PRELIMINARY PLAN  
STREET ADDRESS : WELL BRANCH PARKWAY & OLYMPIC DRIVE, PFLUGERVILLE, TEXAS 78660  
PROPERTY OWNER : WELL BRANCH PROPERTIES LLC  
11940 JOLLYVILLE ROAD, SUITE 110N, AUSTIN, TEXAS 78750  
CONTACT: NASRUDDIN MAHESANIA (512) 203–5049  
DESIGNER COMPANY : PROFESSIONAL StruCIVIL ENGINEERS, INC.  
2205 W. PARMER LN., SUITE 201, AUSTIN, TEXAS 78727  
(512) 238–6422  
CONTACT: MIRZA TAHIR BAIG  
SURVEYOR: LONE WOLF LAND SURVEYING, LLC  
163 COOL WATER DRIVE, BASTROP, TEXAS 78602  
FIRM #10194675  
NAME OF WATERSHED: WILLBARGER CREEK – COLORADO RIVER  
100–YEAR FLOOD PLAIN: THIS PROPERTY IS NOT LOCATED IN 100 YEARS FLOOD PLAN AS (ZONE "X")  
SHOWN ON THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD  
BOUNDARY MAP, PANEL NO. 48453C0290J, AUGUST 18, 2014.  
LEGAL DESCRIPTION: ABS 791 SUR 67 WALTERNS A ACR 4.191  
RECHARGE ZONE : THE SITE IS WITHIN THE EDWARDS AQUIFER TRANSITION ZONE.  
RELATED CASES:  
RELATED REPORTS & STUDIES: 1) ENGINEER'S REPORT AND HYDROLOGY ANALYSIS, PSCE, INC. DATED 06/16/2023  
2) TRAFFIC IMPACT ANALYSIS, TRAFFIC IMPACT GROUP, LLC, DATED 02/06/2023  
ZONING GENERAL BUSINESS (GB1) – FULL CITY OF PFLUGERVILLE JURISDICTION

SURVEYOR'S CERTIFICATION:  
STATE OF TEXAS:  
KNOW ALL MEN BY THESE PRESENTS:  
COUNTY OF:  
THAT I, MATTHEW LEE TAYLOR, DO HEREBY CERTIFY THAT I PREPARED THIS PLAN FROM AN ACTUAL AND ACCURATE  
ON–THE–GROUND SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON  
MARKING THE BOUNDARY OF THE PROPOSED SUBDIVISION, BUT NOT INTERIOR LOT LINES, WERE  
PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH ALL CITY OF  
PFLUGERVILLE, TEXAS CODES AND ORDINANCES AND THAT ALL KNOWN EASEMENTS WITHIN THE  
BOUNDARY OF THE PLAT ARE SHOWN HEREON.

PRELIMINARY NOTICE: PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND  
SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT. (STATEMENT REQ'D BY  
TBPCLS RULES 663.1.B(C) T.A.C.)

MATTHEW LEE TAYLOR, RPLS #6848

DATE

## REVISIONS / CORRECTIONS

NO.	DESCRIPTION	REVISE (R) ADD (A) VOID (V) SHEET NOS.	TOTAL NO OF SHEETS IN PLAN SET	CITY OF PFLUGERVILLE APPROVAL / DATE	DESIGN ENGINEER SIGNATURE

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER  
WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF PFLUGERVILLE MUST  
RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

UTILITY NOTES

1) WATER & WASTEWATER SERVICE PROVIDED BY CITY OF PFLUGERVILLE:  
15500 SUN LIGHT NEAR WAY #B.  
PFLUGERVILLE, TEXAS 78660  
(512) 990–6400

2) ELECTRIC SERVICE BY ONCOR. FOR SERVICE CONTACT:  
PAUL LEMONS  
350 TEXAS AVENUE.  
ROUND ROCK, TEXAS 78664  
512–244–5693

3) GAS SERVICE BY ATMOS ENERGY. FOR SERVICE CONTACT:  
CONTACT: CHRIS LEBLANC  
3110 N IH35  
ROUND ROCK, TX 78664  
512–310–3801

2023-1-PP

PRELIMINARY PLAN REVIEW NUMBER

SHEET

1

OF 8



LOT 33  
CONSERVATION AND  
HIKE & BIKE TRAIL  
MOUNTAIN CREEK EAST  
PHASE A  
SECTION ONE  
DOC NO 199900296  
O.P.R.T.C.

LOT 5  
BLOCK A  
MOUNTAIN CREEK EAST  
PHASE A  
SECTION ONE  
DOC NO 199900296  
O.P.R.T.C.

LOT 4  
BLOCK A  
MOUNTAIN CREEK EAST  
PHASE A  
SECTION ONE  
DOC NO 199900296  
O.P.R.T.C.

LOT 3  
BLOCK A  
MOUNTAIN CREEK EAST  
PHASE A  
SECTION ONE  
DOC NO 199900296  
O.P.R.T.C.

LOT 2  
BLOCK A  
MOUNTAIN CREEK EAST  
PHASE A  
SECTION ONE  
DOC NO 199900296  
O.P.R.T.C.

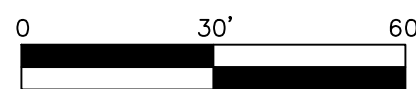
LOT 1  
BLOCK A  
MOUNTAIN CREEK EAST  
PHASE A  
SECTION ONE  
DOC NO 199900296  
O.P.R.T.C.

LOT 14  
BLOCK B  
MOUNTAIN CREEK  
EAST  
PHASE A  
SECTION ONE  
DOC NO 199900  
O.P.R.T.C.

LOT 1  
BLOCK B  
MOUNTAIN CREEK  
EAST  
PHASE A  
SECTION ONE  
DOC NO 199900296  
O.P.R.T.C.



SCALE 1"=30'



### LEGEND

- |  |  |
|--|--|
|  | 1/2" IRON ROD WITH CAP FOUND STAMPED "CHAPARRAL 4995" (UNLESS NOTED) |
|  | MAG LAM WITH WASHER FOUND STAMPED "CHAPARRAL 4995"                   |
|  | 1/2" IRON ROD SET (BLUE CAP STAMPED "LONE WOLF RPLS 6848")           |
|  | PROPERTY LINE  |
|  | ADJOINER LINE  |
|  | DOCUMENT NUMBER  |
|  | VOLUME AND PAGE  |
|  | OFFICIAL PUBLIC RECORDS TRAVIS COUNTY                                |
|  | REAL PROPERTY RECORDS TRAVIS COUNTY                                  |
|  | RIGHT OF WAY   |
|  | LIMIT OF CONSTRUCTION  |
|  | BENCHMARK  |
|  | 6'-0" PROPOSED SIDEWALK  |
|  | 10'-0" PROPOSED SIDEWALK   |

4.190 AC.  
182498 SQ. FT.

LOT 1  
BLOCK A  
4.191 ACRES  
182,578 SQ. FT.

RIGHT-OF-WAY DEDICATION  
0.588 ACRES - 25,614 SQ. FT.  
AS PER APPROVED PLANS  
2022-18-CON

BOOM RIGHT THERE  
MEDIA LLC  
CALLED 10.342 ACRES  
DOC NO 2022087873  
O.P.R.T.C.

S 27°24'17" W 396.87'  
E OLYMPIC DRIVE  
(VARIABLE R.O.W. WIDTH)

0.588 ACRES  
25592 SQ. FT.

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	25.00'	90°37'35"	39.54'	S 71°50'26" W	35.55'
C2	25.00'	89°48'52"	39.19'	S 17°30'09" E	35.30'

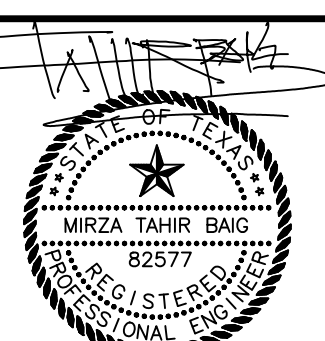
ALEXANDER WALTERS SURVEY NO. 67, A-791  
TRAVIS COUNTY, TEXAS

E WELLS BRANCH PARKWAY  
(120' R.O.W.)  
DOC NO 2005191991  
O.P.R.T.C.

1.614 ACRE  
THE CITY OF PFLUGERVILLE, TEXAS  
60' DRAINAGE EASEMENT AND  
PUBLIC UTILITY EASEMENT  
AGREEMENT  
DOC NO 1999062525  
O.P.R.T.C.

5/8" IRON ROD  
WITH CAP STAMPED  
"ALL COUNTY"  
FOUND

MARK FOUND  
LID OF TRAFFIC  
SIGNAL BOX



THE SEAL APPEARING ON THIS  
DOCUMENT WAS AUTHORIZED BY  
MIRZA TAHIR BAIG, P.E., #82577 ON  
07/11/2023  
FIRM REGISTRATION F-4951

6				
5				
4				
3	ISSUED FOR APPROVAL	07/11/23		
2	ISSUED FOR APPROVAL	06/19/23		
1	ISSUED FOR APPROVAL	04/11/23		
0	ISSUED FOR APPROVAL	01/13/23		
Rev.	Description	Date	Drawn	

A 3x3 grid with the following layout: Row 1: empty, P, empty; Row 2: empty, E, empty; Row 3: P, empty, E. The cells at (1,2), (2,1), (2,3), and (3,2) are filled black.

PROFESSIONAL STRUCTURAL ENGINEERS, INC.  
CONSULTING CIVIL AND STRUCTURAL ENGINEERS

2205 WEST PARKER LANE, SUITE 210, AUSTIN, TX 78727 | TEL 512.238.6422 | [pscoe@pscoinc.com](mailto:pscoe@pscoinc.com)

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Project : **OLYMPIC RETAIL CENTER  
PRELIMINARY PLAN**  
WELLS BRANCH PKWY & OLYMPIC DRIVE  
CITY OF PFLUGERVILLE, TEXAS  
Title : **PRELIMINARY PLAN**

PROJECT  
30754



P

P E SHEET 2 OF 8



ALEXANDER WALTERS SURVEY NO. 67, A-791  
TRAVIS COUNTY, TEXAS

P   E

SHEET  
3  
OF 8





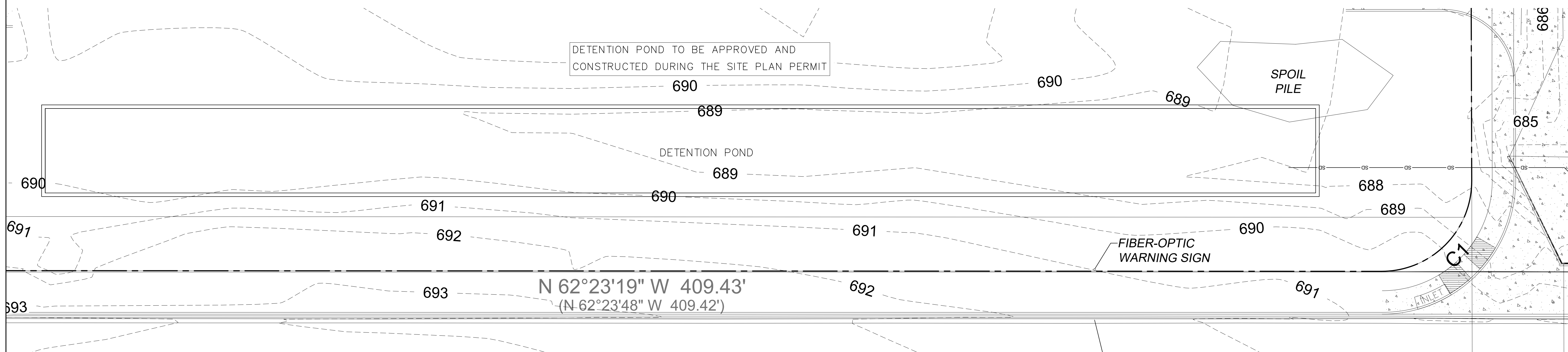



BASIN NAME	PRE DA#1	PRE DA#2	POST DA#1	POST DA#2	POST DA#3	TOTAL PRE "Q"	TOTAL POST "Q"	TOTAL POST "Q" RELEASE
DRAINAGE AREA (acres)	1.97	2.22	1.81	2.10	0.28			
IMPERVIOUS COVER (acres)	0.00	0.00	1.45	1.68	0.00			
CN (PRE)	80.00	80.00	80.00	80.00	80.00			
CN (POST)	80.00	80.00	94.40	94.40	80.00			
Tc (hrs.)	0.461	0.351	0.083	0.083	0.127			
2YRS. (cfs)	2.77	3.49	5.83	6.76	0.57	6.17	12.82	4.78
5YRS. (cfs)	4.24	5.35	7.86	9.12	0.87	9.44	17.51	6.18
10YRS. (cfs)	5.70	7.19	9.79	11.36	1.17	12.67	21.99	9.02
25YRS. (cfs)	7.93	9.98	12.70	14.73	1.63	17.65	28.73	14.33
50YRS. (cfs)	9.91	12.45	15.25	17.69	2.03	22.05	34.65	19.58
100YRS. (cfs)	12.05	15.13	18.02	20.91	2.46	26.83	41.09	25.42

TIME OF CONCENTRATION CALCULATIONS TABLE							
BASIN NAME	TR55 SHEET FLOW			TR55 SHALLOW CONCENTRATED FLOW			TIME OF CONCENTRATION (Tc)
	Length(ft)	Slope(%)	Tc1(hrs.)	Length(ft)	Slope(%)	Tc2(hrs.)	Tc= Tc1+ Tc2
PRE DA#1	100.00	0.010	0.333	738.00	0.010	0.127	0.461
PRE DA#2	100.00	0.014	0.294	386.40	0.014	0.057	0.351
POST DA#1	100.00	0.012	0.030	297.00	0.012	0.037	0.083
POST DA#2	100.00	0.014	0.028	386.40	0.014	0.045	0.083
POST DA#3	100.00	0.004	0.048	352.00	0.004	0.079	0.127

EVENTS	ELEVATION	ALLOWABLE 'Q'	PROVIDED 'Q'
	ft	PRE	CONTROL OPENINGS
2YRS.	689.43	12.59	4.49
5YRS.	690.10	16.97	5.78
10YRS.	690.61	21.16	8.41
25YRS.	691.24	27.43	13.34
50YRS.	691.76	32.94	18.05
100YRS.	692.29	38.93	23.58

2, 10, 25, & 100YRS. ELEVATIONS & VOLUME		
EVENTS	POND VOLUME	ELEVATION
	AC-FT	FT
2YRS.	0.303	689.43
5YRS.	0.430	690.10
10YRS.	0.527	690.61
25YRS.	0.648	691.24
50YRS.	0.746	691.76
100YRS.	0.846	692.29



		THE SEAL AFFIXED ON THIS DOCUMENT WAS AUTHORIZED BY <b>MIRZA TAHER BAIG, P.E., #82577 ON</b> 07/11/2023 FIRM REGISTRATION F-4951	
6		ISSUED FOR APPROVAL	07/17/23
5		2	06/19/23
4		1	04/17/23
3		0	07/13/23
2		Rev.	Description
1		Date	Drawn

<b>PROFESSIONAL STRUCTURAL ENGINEERS, INC.</b> CONSULTING CIVIL AND STRUCTURAL ENGINEERS 2208 WEST PARKER LANE, SUITE 210, AUSTIN, TX 78727   TEL: 512-238-6422   <a href="mailto:info@psenic.com">info@psenic.com</a>	
	P E

	P E
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<b>OLYMPIC RETAIL CENTER</b> <b>PRELIMINARY PLAN</b> WELLS BRANCH PKWY & OLYMPIC DRIVE CITY OF PLEACURVILLE, TEXAS Title :	
	P E

<b>EXISTING &amp; PROPOSED DRAINAGE CALCULATIONS</b>	
	P E

PROJECT <b>30754</b>	SHEET <b>6</b>
P E	OF 8





