

THE CITY OF PFLUGERVILLE HAS NOT REVIEWED THESE PLANS FOR COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT. ALL SIDEWALKS SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT. IT IS THE RESPONSIBILITY OF THE OWNER TO PROVIDE COMPLIANCE WITH ALL LEGISLATION RELATED TO ACCESSIBILITY WITHIN THE LIMITS OF CONSTRUCTION SHOWN ON THESE PLANS.

THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH THE 2015 EDITION OF THE INTERNATIONAL BUILDING AND FIRE CODE AS AMENDED BY THE CITY OF PFLUGERVILLE IN ACCORDANCE WITH CHAPTER 150 OF THE CODE OF ORDINANCES.

LEGAL DESCRIPTION

DESCRIBING A 25.21 ACRE TRACT OF LAND IN THE GEORGE M. MARTIN SURVEY NO. 9, TRAVIS COUNTY, TEXAS, SAME BEING A PORTION OF THAT CERTAIN 50.008 ACRE TRACT OF LAND DESCRIBED IN A SPECIAL WARRANTY DEED TO THE PFLUGERVILLE LOOP, LTD., EXECUTED ON SEPTEMBER 27, 2013 AND RECORDED IN DOCUMENT NUMBER 2013189144, OFFICIAL PUBLIC RECORDS OF SAID COUNTY AND STATE, SAID 25.21 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS.

BENCHMARK DESCRIPTIONS

BM #1 – IRON ROD FOUND 163 FT SOUTH WEST FROM INTERSECTION OF HIDDEN LAKE DRIVE AND WETLAND DRIVE.

GRID COORDINATES:
N: 10,138,249.01
E: 3,165,405.46
ORTHO ELEVATION: 653.29

BM #2 – FROM THE INTERSECTION OF TEXEL LANE AND AGRARIAN TRAIL, SOUTHERLY ALONG TEXEL LANE TO A SQUARE CUT ON TOP OF A CURB.

GRID COORDINATES:
N: 10,137,458.66
E: 3,165,255.97
ORTHO ELEVATION: 659.77

VERTICAL DATUM IS NAVD-88. (GEOID 12B)

WATERSHED

1. THIS PROJECT IS LOCATED IN THE WILBARGER CREEK WATERSHED.
2. THIS SITE IS NOT LOCATED OVER THE EDWARDS AQUIFER RECHARGE, CONTRIBUTING, OR TRANSITION ZONES.

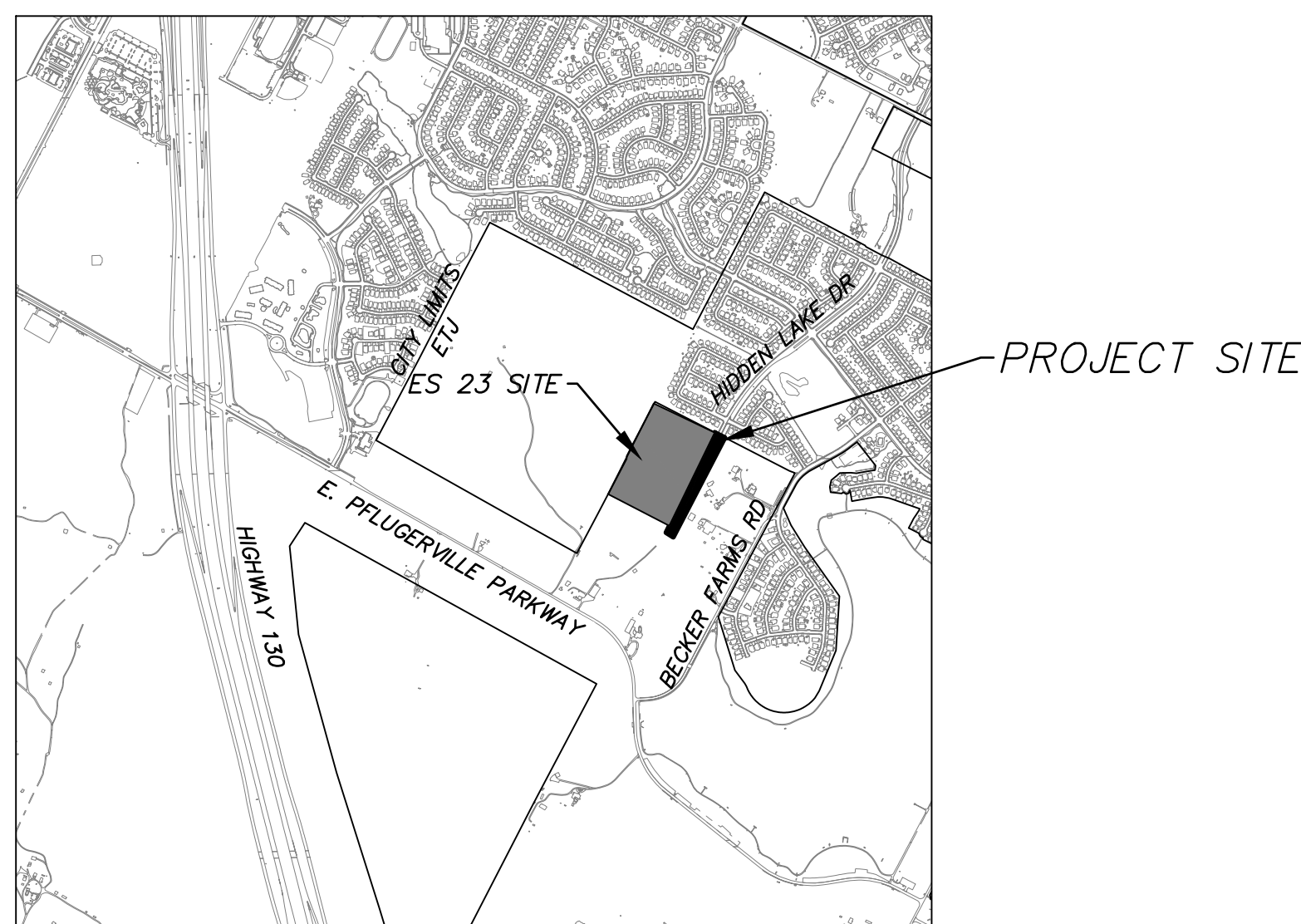
FEMA FLOODPLAIN NOTE / LOMR

1. THIS SITE IS WITHIN THE BOUNDARIES OF THE 100-YEAR FLOODPLAIN PER FEMA PANEL NO. 48453C0280J, DATED AUGUST 18, 2014.
2. A FLOODPLAIN ANALYSIS WAS PERFORMED AND PROVIDED FOR REVIEW AND APPROVAL PRIOR TO PROJECT APPROVALS BY CITY.
3. THE OWNER SHALL SUBMIT TO FEMA A LETTER OF MAP REVISION (LOMR) FOR THE PROPERTY. LOMR WILL BE SUBMITTED TO FEMA BASED ON THE PROPOSED CONDITIONS FLOOD STUDY, AFTER CONSTRUCTION GRADING IS COMPLETED AND PRIOR TO CITY'S ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE SCHOOL.

NOTES:

1. ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF PFLUGERVILLE MUST RELY ON THE ADEQUACY OF THE DESIGN ENGINEER.
2. IF PROBLEMS ARISE WITH THE DRAWINGS, REFER TO THE CITY OF PFLUGERVILLE SPECIFICATIONS (GENERAL SPECIFICATIONS, STREET & DRAINAGE SPECIFICATIONS, WATER & WASTEWATER SPECIFICATIONS, AND CONCRETE SPECIFICATIONS).
3. THIS PLAN LIES WITHIN THE CITY OF PFLUGERVILLE FULL PURPOSE JURISDICTION.
4. WATER AND WASTEWATER SHALL BE PROVIDED BY CITY OF PFLUGERVILLE. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO WATER AND WASTEWATER FACILITIES.
5. A 10-FT PUBLIC UTILITY EASEMENT (P.U.E.) SHALL BE DEDICATED ALONG ALL STREET FRONTAGE(S).
6. EASEMENT(S) DEDICATED TO THE PUBLIC BY THIS PLAN SHALL ALSO BE SUBJECT TO THE TERMS AND CONDITIONS OF THE ENGINEERING DESIGN MANUAL, AS AMENDED. THE GRANTOR PFLUGERVILLE INDEPENDENT SCHOOL DISTRICT, HEIRS, SUCCESSORS AND ASSIGNS SHALL RETAIN THE OBLIGATION TO MAINTAIN THE SURFACE OF THE EASEMENT PROPERTY, INCLUDING THE OBLIGATION TO REGULARLY MOW OR CUT BACK VEGETATION AND TO KEEP THE SURFACE OF THE EASEMENT PROPERTY FREE OF LITER, DEBRIS, AND TRASH.
7. NO IMPROVEMENTS INCLUDING BUT NOT LIMITED TO STRUCTURES, FENCES, OR LANDSCAPING SHALL BE ALLOWED IN A PUBLIC EASEMENT, EXCEPT AS APPROVED BY THE CITY OF PFLUGERVILLE.
8. THE PROPERTY OWNER SHALL PROVIDE ACCESS TO DRAINAGE AND UTILITY EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS FOR THE PLACEMENT, CONSTRUCTION, INSTALLATION, REPLACEMENT, REPAIR, MAINTENANCE, RELOCATION, REMOVAL, OPERATION AND INSPECTION OF SUCH DRAINAGE AND UTILITY FACILITIES, AND RELATED APPURTENANCES.
9. A SIX (6) FOOT WIDE SIDEWALK SHALL BE PROVIDED ON BOTH SIDES OF HIDDEN LAKE DRIVE AND COLLECTOR A ROAD.
10. STREETLIGHTS SHALL BE INSTALLED AND IN FULL WORKING ORDER WITH THE PUBLIC IMPROVEMENTS. ALL STREETLIGHTS SHALL BE IN CONFORMANCE WITH ALL CITY OF PFLUGERVILLE ORDINANCES INCLUDING BUT NOT LIMITED TO BEING DOWNCAST AND FULL CUT OUT TYPE.
11. THIS SUBDIVISION IS SUBJECT TO ALL CITY OF PFLUGERVILLE ORDINANCES OR TECHNICAL MANUALS RELATED TO TREE PRESERVATION PER CITY ORDINANCE # 1203-15-02-24 AND CITY RESOLUTION # 1224-09-08-258A.
12. THE COMMUNITY IMPACT FEE RATE FOR WATER AND WASTEWATER WILL BE ASSESSED AT THE TIME OF FINAL PLAT.
13. ON-SITE STORM WATER FACILITIES SHALL BE PROVIDED TO MITIGATE POST-DEVELOPMENT PEAK RUNOFF RATES FOR THE 2 YEAR, 25 YEAR AND 100 YEAR STORM EVENTS.
14. ALL ELECTRIC UTILITY INFRASTRUCTURE INCLUDING BUT NOT LIMITED TO TELEPHONE, CABLE TELEVISION, ELECTRIC UTILITY LATERAL AND SERVICE LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF PFLUGERVILLE ENGINEERING DESIGN MANUAL, AS AMENDED.
15. THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF PFLUGERVILLE, AS AMENDED.
16. CONSTRUCTION PLANS AND SPECIFICATIONS FOR ALL SUBDIVISION IMPROVEMENTS SHALL BE REVIEWED AND APPROVED BY THE CITY OF PFLUGERVILLE PRIOR TO ANY CONSTRUCTION WITHIN THE SUBDIVISION.
17. SITE DEVELOPMENT CONSTRUCTION PLANS SHALL BE REVIEWED AND APPROVED BY THE CITY OF PFLUGERVILLE PRIOR TO ANY CONSTRUCTION.
18. A PORTION OF THIS TRACT IS WITHIN A FLOOD HAZARD AREA AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP PANEL # 48453C0280J FOR TRAVIS COUNTY, EFFECTIVE AUGUST 14, 2014.
19. ALL PROPOSED FENCES AND WALLS ADJACENT TO INTERSECTING PUBLIC ROADWAY RIGHT-OF-WAY OR ADJACENT TO PRIVATE ACCESS DRIVES SHALL BE IN COMPLIANCE WITH THE SIGHT DISTANCE REQUIREMENTS OF THE CITY OF PFLUGERVILLE ENGINEERING DESIGN MANUAL, AS AMENDED.
20. WASTEWATER AND WATER SYSTEMS SHALL CONFORM TO TCEQ (TEXAS COMMISSION ON ENVIRONMENTAL QUALITY) AND STATE BOARD OF INSURANCE REQUIREMENTS. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR RE-PLATTING MAY BE REQUIRED AT THE OWNER'S SOLE EXPENSE IF PLANS TO DEVELOP THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.

PFLUGERVILLE ISD
ELEMENTARY SCHOOL NO. 23
PUBLIC IMPROVEMENTS
PFLUGERVILLE, TEXAS 78660
PRELIMINARY PLAN - NOT FOR RECORDATION



GENERAL LOCATION MAP
NOT TO SCALE

CASE: PP2012-01

SUBMITTAL DATE

12/11/2020

OWNER INFORMATION

PFLUGERVILLE INDEPENDENT SCHOOL DISTRICT
1401 W. PECAN STREET
PFLUGERVILLE, TX 78660
CONTACT: DAVID VESLING
OFFICE: 512-594-0242
CELL: 512-903-4509

CIVIL ENGINEER

DUNAWAY ASSOCIATES, LLC
5707 SOUTHWEST PARKWAY
BUILDING 2, SUITE 250
AUSTIN, TEXAS 78735
CONTACT: CALEB A. MILLIGAN
OFFICE: 512-399-5364

SURVEYOR

DUNAWAY ASSOCIATES, LLC
5707 SOUTHWEST PARKWAY
BUILDING 2, SUITE 250
AUSTIN, TX 78735
CONTACT: JOHN NOELL
OFFICE: 512-399-5377

REPORTS AND WAIVERS

1. FLOODPLAIN ENGINEERING REPORT FOR WILBARGER CREEK TRIBUTARY 196 BY RICHARD FRITHOF, P.E. ON FEBRUARY 2021
2. GEOTECHNICAL ENGINEERING STUDY FOR PFLUGERVILLE ELEMENTARY SCHOOL NO.23 BY YVONNE GARCIA THOMAS, P.E. ON 02/01/2021
3. WASTEWATER TECHNICAL REPORT BY DON SANSOM, P.E. ON 02/22/2021
4. TIA REPORT BY KATHLEEN SMITH, PE, PTOE, ON 04/15/2021

ARCHITECT

PFLUGER ARCHITECTS
209 EAST RIVERSIDE DRIVE
AUSTIN, TEXAS 78704
CONTACT: GARRETT MARTIN
PHONE: 512-476-4040

GEOTECHNICAL ENGINEER

RABA KISTNER
8100 CAMERON ROAD, SUITE B-150
AUSTIN, TEXAS 78754
CONTACT: GABRIEL ORNELAS JR
PHONE: 512-339-1745

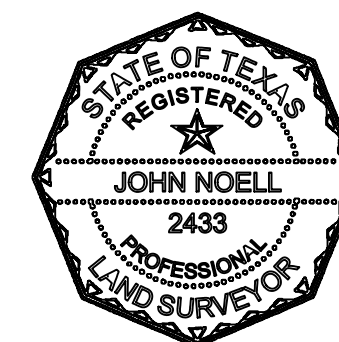
CITY OF PFLUGERVILLE

DEVELOPMENT SERVICES CENTER
201-B EAST PECAN ST.
P.O. BOX 589
PFLUGERVILLE, TX 78691
512-990-6300

SURVEYOR'S CERTIFICATION

STATE OF TEXAS:
KNOW ALL MEN BY THESE PRESENTS:
COUNTY OF:

THAT I, JOHN NOELL, DO HEREBY CERTIFY THAT I PREPARED THIS PLAN FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON MARKING THE BOUNDARY OF THE PROPOSED SUBDIVISION, BUT NOT INTERIOR LOT LINES, WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH ALL CITY OF PFLUGERVILLE, TEXAS CODES AND ORDINANCES AND THAT ALL KNOWN EASEMENTS WITHIN THE BOUNDARY OF THE PLAT ARE SHOWN HEREON.



SITE INFORMATION

PUBLIC ROADWAY AND UTILITY INFRASTRUCTURE TO SERVE THE PROPOSED ELEMENTARY SCHOOL #23 SITE. THE INFRASTRUCTURE IMPROVEMENTS INCLUDE:

- 1,970 LF OF ASPHALT ROADWAY
- 1,210 LF OF 12" WATER LINE
- 995 LF OF 8" WATER LINE
- 225 LF OF 8" WASTEWATER LINE
- 1,710 LF OF STORM DRAIN LINES

REFERENCE PLANS

1. VILLAGES OF HIDDEN LAKE PH 4A
PERMIT NUMBER: 05-2137
2. BECKER FARMS SUBDIVISION
PERMIT NUMBER:

SHEET INDEX

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STORM	
8	DRAINAGE AREA MAP-EXISTING
9	DRAINAGE AREA MAP-PROPOSED
10 -	DRAINAGE AREA MAP-ROADWAY

UTILITY PROVIDERS

AT&T – TEXAS NORTH ENGINEERING
MARK DAVIS
11220 JOSEPH CLAYTON DR., FLOOR 1
AUSTIN, TX 78753
OFFICE: 512-870-4760

CITY OF PFLUGERVILLE – DEVELOPMENT SERVICES CENTER (PLANNING, ENGINEERING, & BUILDING DEPARTMENTS)
201-B EAST PECAN STREET
P O BOX 589
PFLUGERVILLE, TX 78691-0589
OFFICE: 512-990-6300

ATMOS
CHRIS LEBLANC
3110 N. I-35
ROUND ROCK, TX 78681
OFFICE: 512-310-3801

CITY OF PFLUGERVILLE – PUBLIC WORKS DEPARTMENT
MATT WOODARD
15500 SUN LIGHT NEAR WAY #B
PFLUGERVILLE, TX 78691-0589
OFFICE: 512-990-6400

ONCOR
PAUL LEMONS
350 TEXAS AVE.
ROUND ROCK, TX 78664
OFFICE: 512-244-5693

TRAVIS COUNTY EMERGENCY SERVICES DISTRICT #2
MIKE SLAUGHTER
203 E. PECAN STREET
PFLUGERVILLE, TX 78660
OFFICE: 512-989-4531



THIS SITE PLAN HAS BEEN SUBMITTED TO THE TEXAS DEPARTMENT OF LICENSING AND REGULATION FOR REVIEW OF COMPLIANCE WITH THE ARCHITECTURAL BARRIERS ACT.

THE REFERENCE # ___ TABS IS PROOF OF SUBMITTAL TO TDLR FOR ELEMENTARY SCHOOL #23.

SUBMITTED BY:

Caleb A. Milligan
CALEB A. MILLIGAN
113119
PROFESSIONAL ENGINEER

7/13/2021
DATE

CALEB A. MILLIGAN, P.E.
DUNAWAY ASSOCIATES
FIRM REGISTRATION NUMBER F-1114

REVIEWED BY:

PLANNING AND DEVELOPMENT SERVICES DIRECTOR
CITY OF PFLUGERVILLE

DATE

CITY ENGINEERING DEPARTMENT
CITY OF PFLUGERVILLE

DATE

IMPERVIOUS COVER

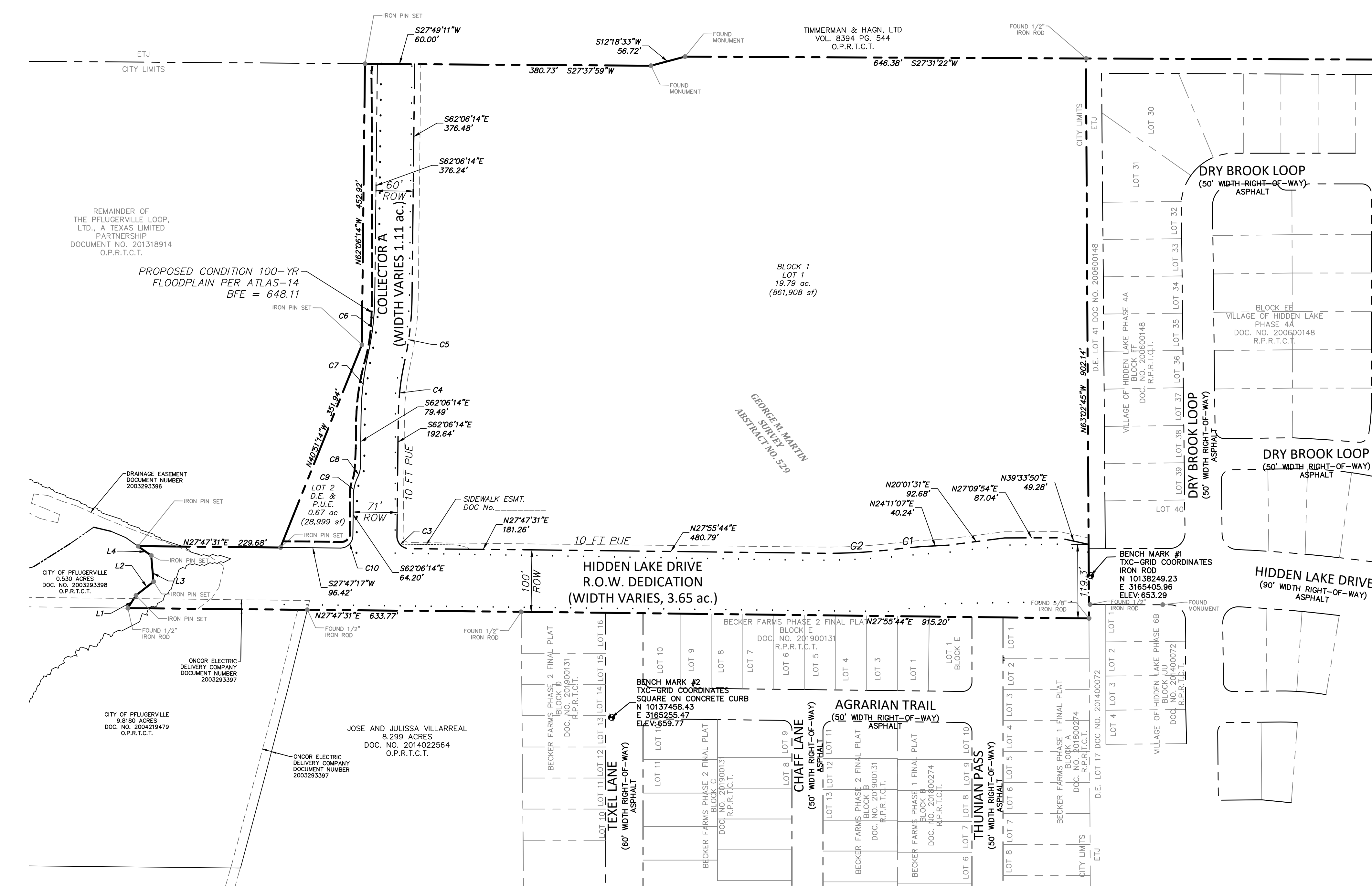
TOTAL SITE AREA	= 25.32 AC
EXISTING IMPERVIOUS COVER	= 0.01 AC (0.00%)
PROPOSED IMPERVIOUS COVER	= 2.11 AC (08.3%)

SITE PLAN AREA

TOTAL SITE PLAN AREA	= 25.32 AC
# OF LOTS AND AREA STREETS	= 1/ 25.32 AC
HIDDEN LAKE DRIVE	= 1549 FT X 100 FT/ 3.51 AC
EAST WEST ROAD	= 780 FT X 73 FT/ 1.30 AC

REVISION LOG							
NO.	DESCRIPTION	REVISE (R) ADD (A) VOID (V) SHEET NO.'S	TOTAL # SHEETS IN PLAN SET	NET CHANGE IMP. COVER (SQ. FT.)	TOTAL SITE IMP. COVER (SQ. FT.) / [%]	CITY OF PFLUGERVILLE APPROVAL DATE	DATE IMAGED

FULL PATH: C:\ProgramData\Autodesk\LT2012\CAD\Drawing\Plot\SheetPublic_Sheet1001.dwg
 PLOTTER: Caliburn
 PLOTTED BY: Glenn
 PLOTTED DATE: 4/26/2018 10:02 AM
 PLOTTED WITH: AutoCAD LT 2012



REMAINDER OF THE PFLUGERVILLE LOOP, LTD., A TEXAS LIMITED PARTNERSHIP DOCUMENT NO. 201318914 O.P.R.T.C.T.

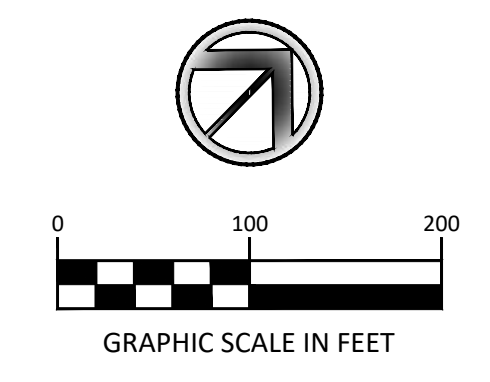
PROPOSED CONDITION 100-YR FLOODPLAIN PER ATLAS-14 BFE = 648.11

LINE NUMBER	LINE BEARING	LINE LENGTH
L1	N30°18'55"W	24.31
L2	N10°39'40"W	35.99
L3	N67°54'01"W	42.32
L4	S62°28'59"W	26.12

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	46.10'	990.00'	2°40'05"	N21°40'08"E	46.10'
C2	119.76'	886.93'	7°44'11"	N24°15'25"E	119.66'
C3	31.36'	20.00'	89°50'55"	N72°43'00"E	28.25'
C4	90.38'	435.00'	11°54'14"	S56°09'06"E	90.21'
C5	102.84'	495.00'	11°54'14"	S56°09'06"E	102.66'
C6	90.38'	435.00'	11°54'14"	N56°09'06"W	90.21'
C7	102.84'	495.00'	11°54'14"	S56°09'06"E	102.66'
C8	17.82'	43.00'	23°44'58"	S50°13'44"E	17.70'
C9	28.71'	67.14'	24°29'56"	S50°36'57"E	28.49'
C10	31.38'	20.00'	89°53'45"	S17°09'21"E	28.26'

LEGEND	
- - - - -	PROPERTY BOUNDARY
- - - - -	ADJOINERS
- . - . - . -	REQUIRED 6 FT SIDEWALK
⊕	BENCHMARK

A PORTION OF THIS TRACT IS WITHIN A FLOOD HAZARD AREA AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP PANEL #484536C0280J FOR TRAVIS COUNTY, EFFECTIVE AUGUST 14, 2014.



NOTES:
 Basis of Bearings: Bearings shown hereon are based on the Texas State Plane Coordinate System, NAD 83 (1986 Adjustment), Texas Central Zone (4203). All bearings, distances and acreage's shown hereon relate to this datum and grid coordinate system. Based on Leica SmartNet North America NetWork: RTCM-REFERENCE STATION 2292 (SITE: LCAS AUSTIN - SE TX.)

NO.	DATE	DESCRIPTION

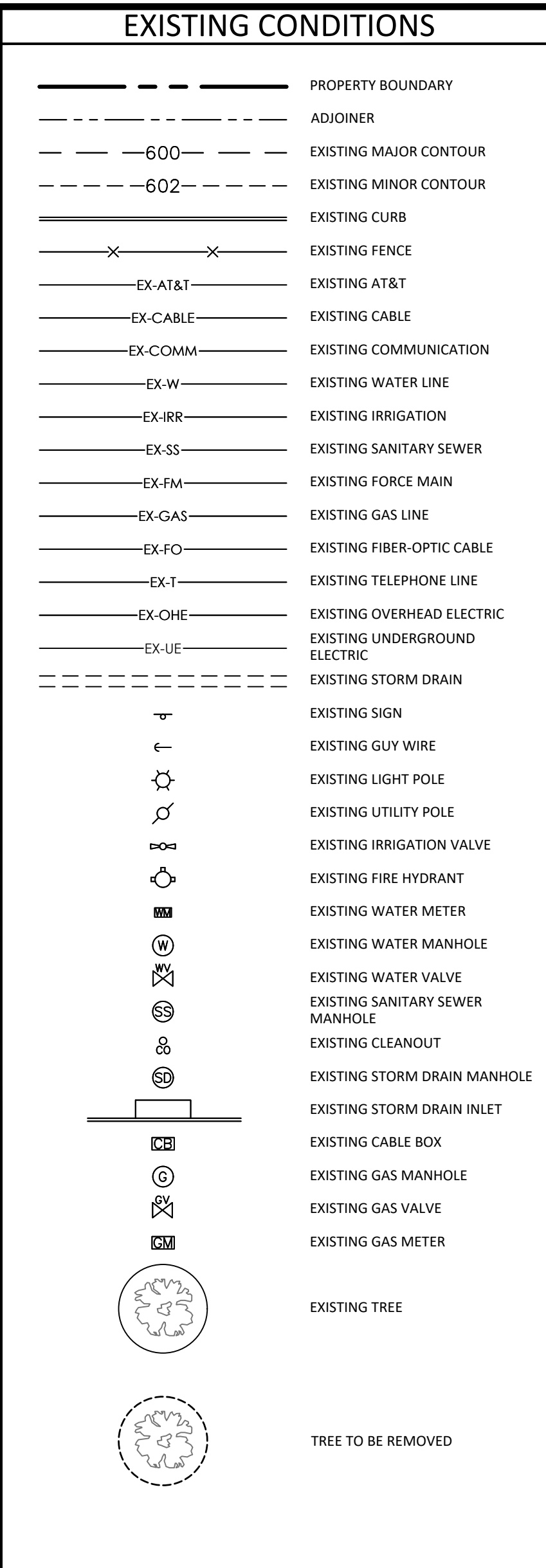
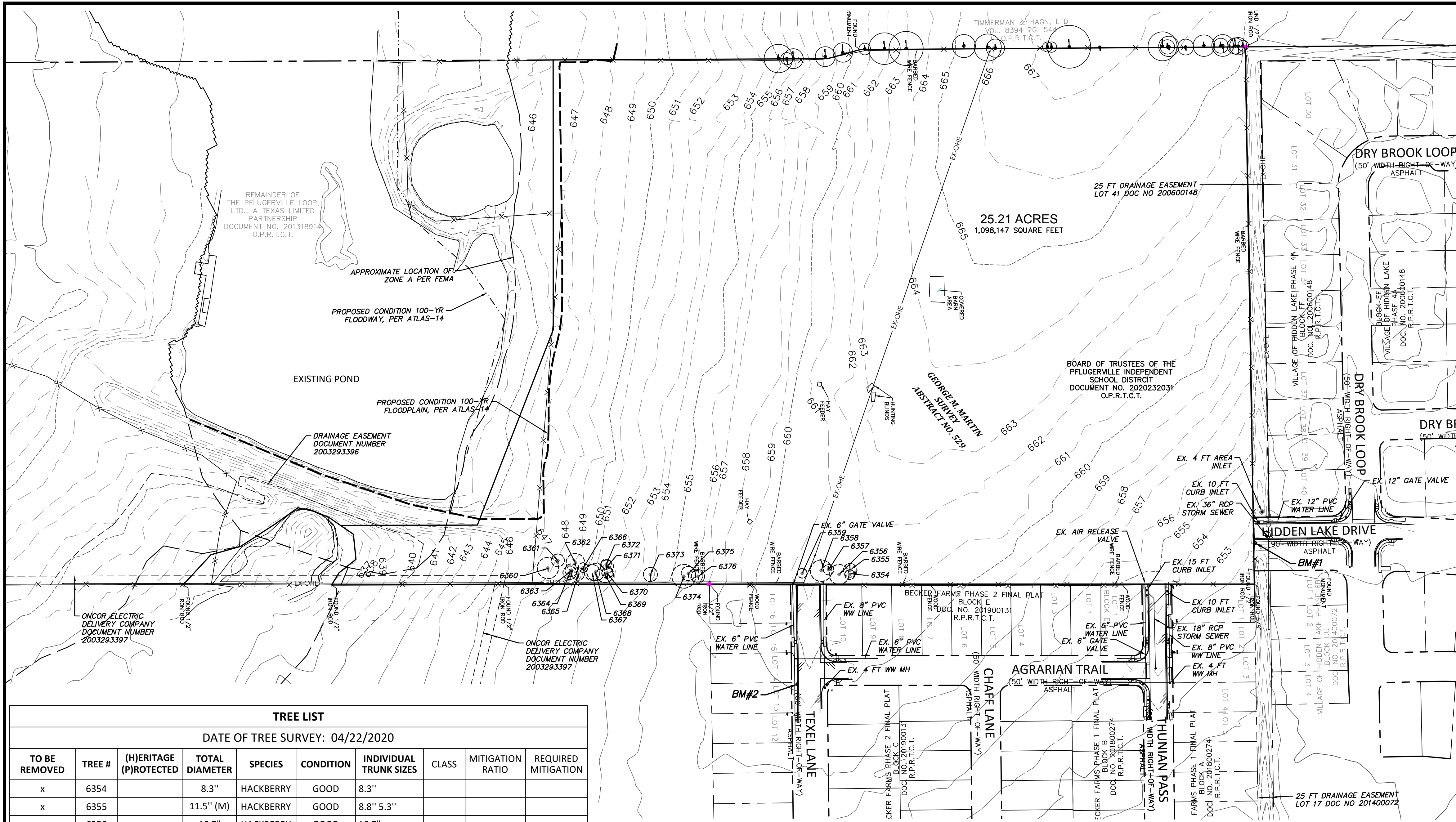
PRELIMINARY PLAN
 PFLUGERVILLE ISD
 ES #23
PRELIMINARY PLAN



7/13/2021

 CALEB A. MILLIGAN
 113119

JOB NO.	B006154.003
DESIGNED BY:	JV
DRAWN BY:	GM
CHECKED BY:	DS
DATE:	7/13/2021
SHEET:	2



REVISIONS	
NO.	DATE

EXISTING CONDITIONS AND TREE SURVEY

DUNAWAY
 5707 Southwest Pkwy • Bldg. 2 • Suite 250 • Austin, Texas 78755
 Tel: 512.506.8252
 TX REG. F-1114

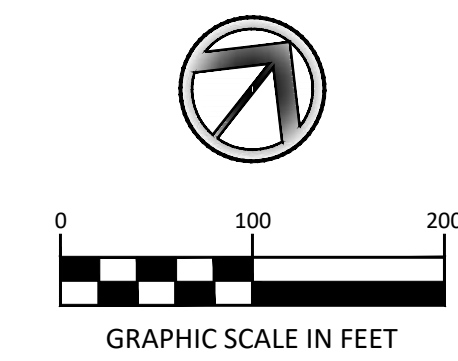
PFLUGERVILLE ISD ES #23 PRELIMINARY PLAN

TREE LIST									
DATE OF TREE SURVEY: 04/22/2020									
TO BE REMOVED	TREE #	(H)HERITAGE (P)ROTECTED	TOTAL DIAMETER	SPECIES	CONDITION	INDIVIDUAL TRUNK SIZES	CLASS	MITIGATION RATIO	REQUIRED MITIGATION
x	6354		8.3"	HACKBERRY	GOOD	8.3"			
x	6355		11.5" (M)	HACKBERRY	GOOD	8.8" 5.3"			
x	6356		16.7"	HACKBERRY	GOOD	16.7"			
x	6357		8.7"	HACKBERRY	GOOD	8.7"			
x	6358		18.1" (M)	HACKBERRY	GOOD	12.8" 10.6"			
x	6359		8"	CEDAR ELM	GOOD	8"			
x	6367	P	13.1"	CEDAR ELM	GOOD	13.1"			
x	6376	P	11.2"	CEDAR ELM	GOOD	11.2"	2	1:1	11
x	6375	P	12.0" (M)	CEDAR ELM	GOOD	9.2" 5.5"	2	1:1	12
x	6374	P	20.0"	CEDAR ELM	GOOD	20.0"	3	2:1	40
x	6373	P	11.9" (M)	MESQUITE	GOOD	8.8" 6.1"	2	1:1	12
x	6370	P	9.3" (M)	CEDAR ELM	GOOD	6.2" 6.1"	2	1:1	9
x	6371	P	11.1"	CEDAR ELM	GOOD	11.1"	2	1:1	11
x	6372	P	8.6"	CEDAR ELM	GOOD	8.6"	2	1:1	9
x	6369	P	11.1"	CEDAR ELM	GOOD	11.1"	2	1:1	11
x	6368	P	14.8"	CEDAR ELM	GOOD	14.8"	2	1:1	15
x	6366	P	8.0"	CEDAR ELM	GOOD	8.0"	2	1:1	8
x	6365	P	10.5"	CEDAR ELM	GOOD	10.5"	2	1:1	11
x	6362	P	15.6"	CEDAR ELM	GOOD	15.6"	2	1:1	16
x	6363	P	10.6" (M)	CEDAR ELM	GOOD	8.0" 5.1"	2	1:1	11
x	6364	P	11.4" (M)	CEDAR ELM	GOOD	7.9" 6.9"	2	1:1	11
x	6361	P	10.8"	CEDAR ELM	GOOD	10.8"	2	1:1	11
x	6360	P	17.8"	CEDAR ELM	GOOD	17.8"	2	1:1	18
MITIGATION TOTAL (INCHES)									215

MITIGATION NOTE:
 MITIGATION FOR TREES TO BE REMOVED SHALL BE PERFORMED WITH THE CONSTRUCTION OF THE ELEMENTARY SCHOOL IN ACCORDANCE WITH WITH THE SCHOOL'S LANDSCAPE PLANS (SP2103-05)

STANDARD TREE PRESERVATION NOTES:

- ALL TREES NOT LOCATED WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE OF DISTURBED AREAS SHALL BE PRESERVED.
- ALL TREES SHOWN ON THIS PLAN TO BE RETAINED SHALL BE PROTECTED DURING CONSTRUCTION WITH FENCING CONSISTENT WITH THE CITY'S CONSTRUCTION DETAIL(S).
- TREE PROTECTION FENCES SHALL BE ERRECTED ACCORDING TO CITY STANDARDS FOR TREE PROTECTION, FENCE MATERIAL, AND FENCE SIGNAGE.
- TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING, OR GRADING) AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT CONSISTENT WITH THE APPROVED PLAN. EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED AND MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN TRENCHING OR SOIL BUILD-UP WITHIN A TREE'S CRITICAL ROOT ZONE (CRZ) OR DRIPLENS, WHICHEVER IS GREATER.
- (STANDARD) TREE PROTECTION FENCES SHALL COMPLETELY SURROUND THE TREE OR CLUSTERS OF TREES AND BE PLACED AT THE OUTERMOST LIMITS OF THE TREE BRANCHES (DRIPLENE) OR CRZ, WHICHEVER IS GREATER, AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROJECT IN ORDER TO PREVENT THE FOLLOWING:
 - SOIL COMPACTION IN ROOT ZONE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIAL.
 - ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN 6 INCHES CUT OR FILL) OR TRENCHING NOT REVIEWED AND AUTHORIZED BY THE CITY FORESTER OR ADMINISTRATOR.
 - WOUNDS TO EXPOSED ROOTS, TRUNK, OR LIMBS BY MECHANICAL EQUIPMENT
 - OTHER ACTIVITIES DETRIMENTAL TO TREES, SUCH AS CHEMICAL STORAGE, CONCRETE TRUCK CLEANING AND FIRES.
- ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN 2 DAYS, COVER THEM WITH ORGANIC MATERIAL IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
- WHEN CONSTRUCTION OCCURS IMMEDIATELY OUTSIDE OF THE CRZ OR DRIPLENE OF A PRESERVED TREE, A CLEAN CUT SHALL BE MADE BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH A ROCK SAW OR SIMILAR EQUIPMENT PRIOR TO EXCAVATION OR GRADE CUTTING. THE PURPOSE OF THIS PROVISION IS TO MINIMIZE DAMAGE TO THE REMAINING ROOTS OF PRESERVED TREES. THE CONTRACTOR SHALL CONTACT THE CITY FORESTER OR ADMINISTRATOR FOR SUPERVISION.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE ROOT ZONE.
- ANY TRENCHING SHALL BE AS FAR FROM EXISTING TREE TRUNKS AS POSSIBLE. TRENCH LINES SHALL NOT RUN WITHIN THE CRZ, BORING, TUNNELING OR OTHER TECHNIQUES MAY BE APPROVED BY THE CITY FORESTER OR ADMINISTRATOR IF THERE ARE NO OTHER ALTERNATIVES AVAILABLE.
- NO LANDSCAPE TOPSOIL DRESSING GREATER THAN SIX (6) INCHES SHALL BE PERMITTED WITHIN THE DRIPLENE OR CRZ, WHICHEVER IS GREATER, OF TREES. NO TOPSOIL IS PERMITTED ON ROOT FLARES OR WITHIN 6 INCHES OF TREE TRUNKS.
- PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC AND CONSTRUCTION EQUIPMENT SHALL TAKE PLACE BEFORE CONSTRUCTION BEGINS. ALL PRUNING MUST BE DONE ACCORDING TO CITY STANDARDS PURSUANT TO SECTION 4 OF THE TREE TECHNICAL MANUAL AND AS OUTLINED IN LITERATURE PROVIDED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA PRUNING TECHNIQUES).
- ALL OAK TREE CUTS, INTENTIONAL OR UNINTENTIONAL, SHALL BE PAINTED IMMEDIATELY (WITHIN 10 MINUTES). TREE PAINT MUST BE KEPT ON SITE AT ALL TIMES. ALL PRUNING OR CUTTING TOOLS MUST BE STERILIZED BETWEEN TREES TO PREVENT THE SPREAD OF DISEASE.
- TREES APPROVED FOR REMOVAL SHALL BE REMOVED IN A MANNER WHICH DOES NOT IMPACT TREES TO BE PRESERVED. REFER TO THE CITY OF PFLUGERVILLE TREE TECHNICAL MANUAL FOR APPROPRIATE REMOVAL METHODS.
- DEVIATIONS FROM THE ABOVE NOTES ARE CONSIDERED ORDINANCE VIOLATIONS IF THERE IS SUBSTANTIAL NONCOMPLIANCE OR IF A TREE SUSTAINS DAMAGE AS A RESULT.
- (PRE-CONSTRUCTION CONFERENCE) THE DEMOLITION, GRADING AND UNDERGROUND CONTRACTORS, CONSTRUCTION SUPERINTENDENT AND OTHER PERTINENT PERSONNEL ARE REQUIRED TO MEET WITH THE CITY FORESTER AND/OR ADMINISTRATOR PRIOR TO BEGINNING WORK TO REVIEW PROCEDURES, TREE PROTECTION MEASURES AND TO ESTABLISH HAUL ROUTES, STAGING AREAS, CONTACTS, WATERING, ETC.
- (VERIFICATION OF TREE PROTECTION) THE PROJECT ARBORIST, LANDSCAPE ARCHITECT OR CONTRACTOR SHALL VERIFY, IN WRITING, THAT ALL PRE-CONSTRUCTION CONDITIONS HAVE BEEN MET (TREE FENCING, EROSION CONTROL, PRUNING, ETC.) AND ARE IN PLACE. WRITTEN VERIFICATION MUST BE SUBMITTED TO AND APPROVED BY THE CITY FORESTER OR THE ADMINISTRATOR BEFORE DEMOLITION OR GRADING BEGINS.



BM #1 - IRON ROD FOUND 163 FT SOUTH WEST FROM INTERSECTION OF HIDDEN LAKE DRIVE AND WETLAND DRIVE.
 GRID COORDINATES:
 N: 10,138,249.01
 E: 3,165,405.46
 ORTHO ELEVATION: 653.29

BM #2 - FROM THE INTERSECTION OF TEXEL LANE AND AGRARIAN TRAIL, SOUTHERLY ALONG TEXEL LANE TO A SQUARE CUT ON TOP OF A CURB.
 GRID COORDINATES:
 N: 10,137,458.66
 E: 3,165,255.97
 ORTHO ELEVATION: 659.77
 VERTICAL DATUM IS NAVD-88. (GEOID 12B)

7/13/2021

CALEB A. MILLIGAN
113119

JOB NO. B006154.003

DESIGNED BY: GM

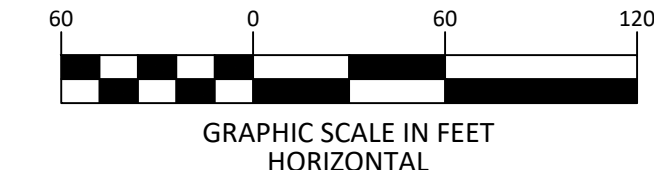
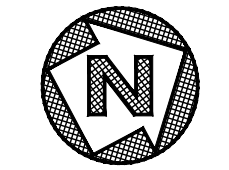
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CHECKED BY: DS

DATE: 7/13/2021

SHEET: 3

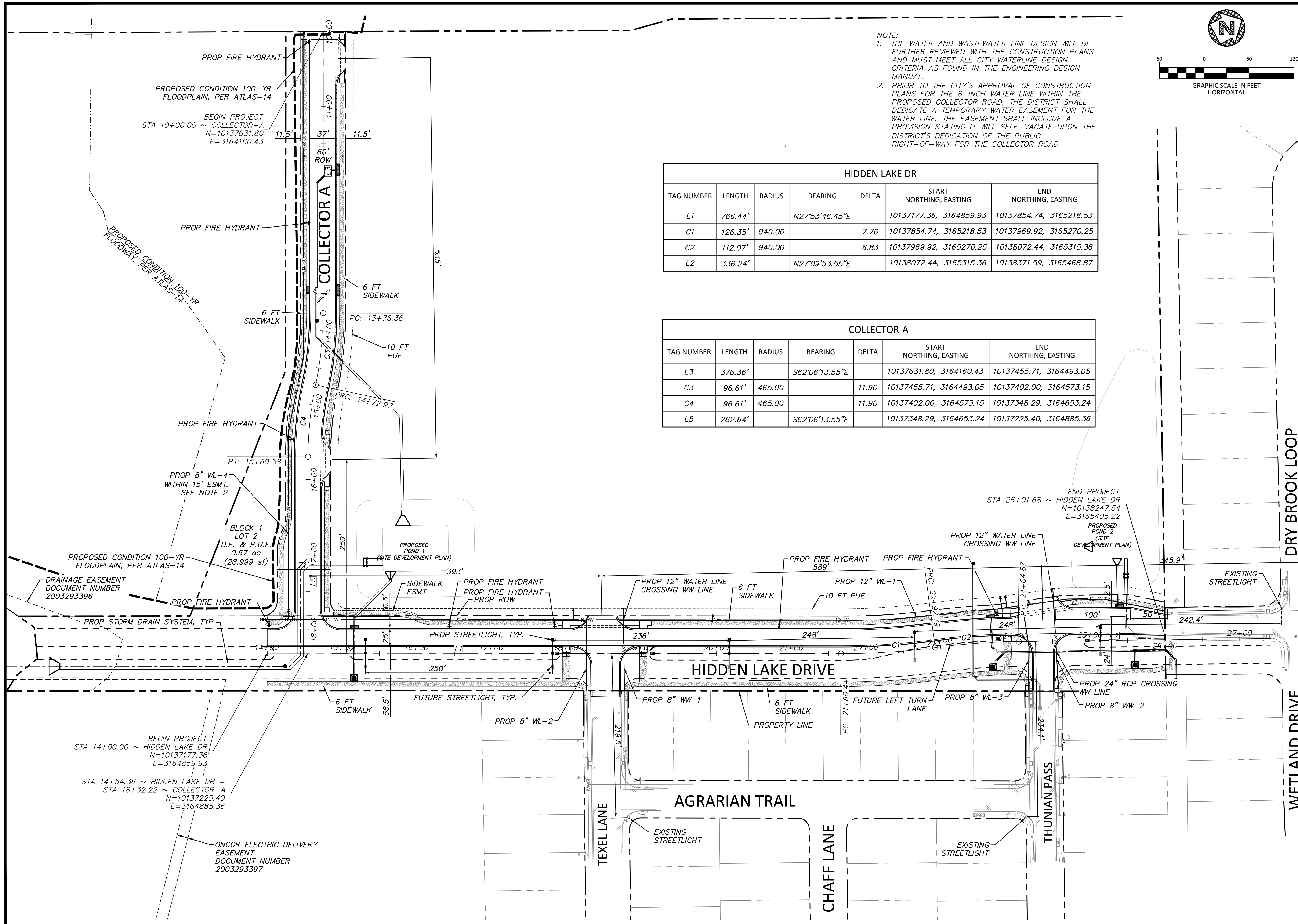
PLEASE SEE THE CITY OF PFLUGERVILLE TREE TECHNICAL MANUAL FOR ALL TREE PROTECTION REQUIREMENTS.
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 PLOTTED DATE: 8/3/2021
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- NOTE:
1. THE WATER AND WASTEWATER LINE DESIGN WILL BE FURTHER REVIEWED WITH THE CONSTRUCTION PLANS AND MUST MEET ALL CITY WATERLINE DESIGN CRITERIA AS FOUND IN THE ENGINEERING DESIGN MANUAL.
 2. PRIOR TO THE CITY'S APPROVAL OF CONSTRUCTION PLANS FOR THE 8-INCH WATER LINE WITHIN THE PROPOSED COLLECTOR ROAD, THE DISTRICT SHALL DEDICATE A TEMPORARY WATER EASEMENT FOR THE WATER LINE. THE EASEMENT SHALL INCLUDE A PROVISION STATING IT WILL SELF-VACATE UPON THE DISTRICT'S DEDICATION OF THE PUBLIC RIGHT-OF-WAY FOR THE COLLECTOR ROAD.

HIDDEN LAKE DR						
TAG NUMBER	LENGTH	RADIUS	BEARING	DELTA	START NORTHING, EASTING	END NORTHING, EASTING
L1	766.44'		N27°53'46.45"E		10137177.36, 3164859.93	10137854.74, 3165218.53
C1	126.35'	940.00		7.70	10137854.74, 3165218.53	10137969.92, 3165270.25
C2	112.07'	940.00		6.83	10137969.92, 3165270.25	10138072.44, 3165315.36
L2	336.24'		N27°09'53.55"E		10138072.44, 3165315.36	10138371.59, 3165468.87

COLLECTOR-A						
TAG NUMBER	LENGTH	RADIUS	BEARING	DELTA	START NORTHING, EASTING	END NORTHING, EASTING
L3	376.36'		S62°06'13.55"E		10137631.80, 3164160.43	10137455.71, 3164493.05
C3	96.61'	465.00		11.90	10137455.71, 3164493.05	10137402.00, 3164573.15
C4	96.61'	465.00		11.90	10137402.00, 3164573.15	10137348.29, 3164653.24
L5	262.64'		S62°06'13.55"E		10137348.29, 3164653.24	10137225.40, 3164885.36



NO.	DATE	DESCRIPTION

PROPOSED IMPROVEMENT PLAN

DUNAWAY

PFLUGERVILLE ISD
ES #23

PRELIMINARY PLAN

5707 Southwest Pkwy • Bldg. 2 • Suite 250 • Austin, Texas 78735
Tel: 512.506.8252
(TX REG. F-1114)

7/13/2021

JOB NO. B006154.003

DESIGNED BY: QDP

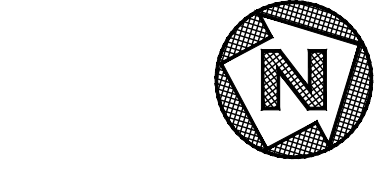
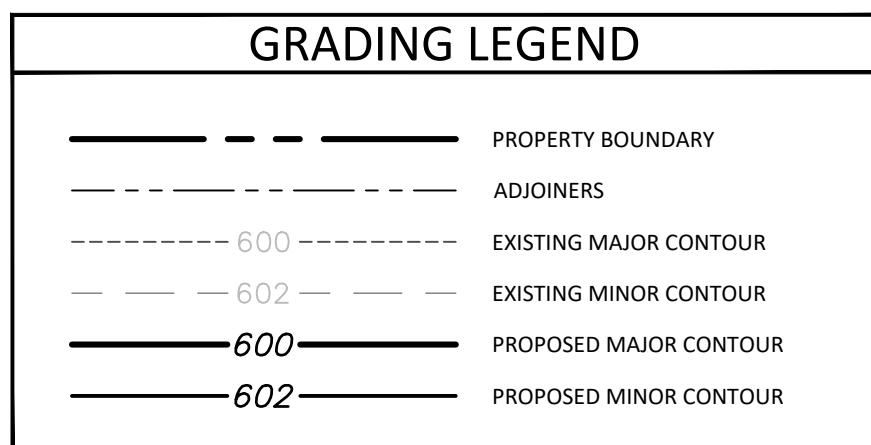
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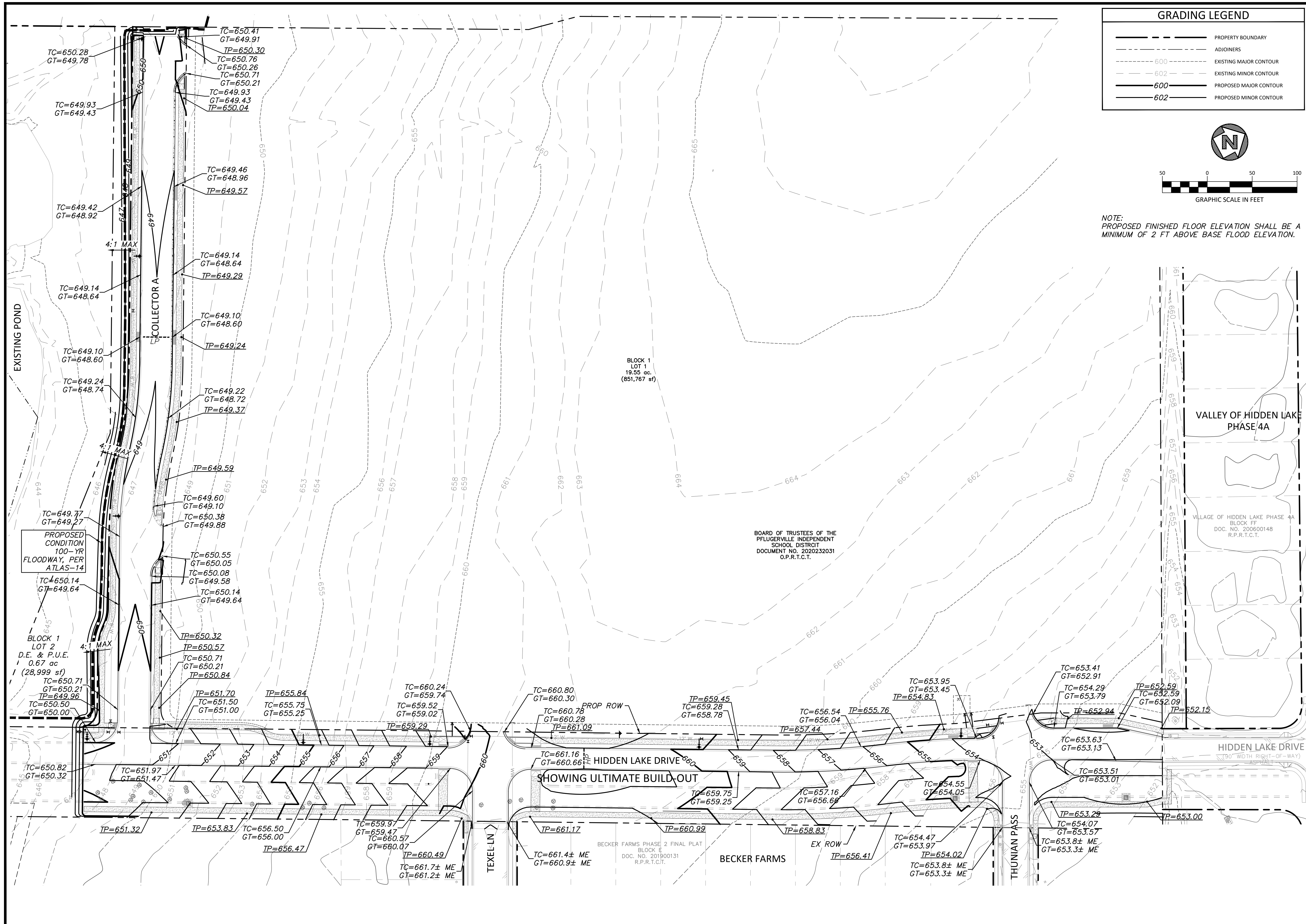
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NOTE:
PROPOSED FINISHED FLOOR ELEVATION SHALL BE A
MINIMUM OF 2 FT ABOVE BASE FLOOD ELEVATION.



REVISIONS	DESCRIPTION
NO.	DATE

OVERALL GRADING PLAN

DUNAWAY
5707 Southwest Pkwy • Bldg. 2 • Suite 250 • Austin, Texas 78735
Tel: 512.306.8232 (TX REG. F-1114)

PFLUGERVILLE ISD
ES #23

PRELIMINARY PLAN

7/13/2021

CALEB A. MILLIGAN
113119
7/13/2021

JOB NO. B006154.003

DESIGNED BY: GM

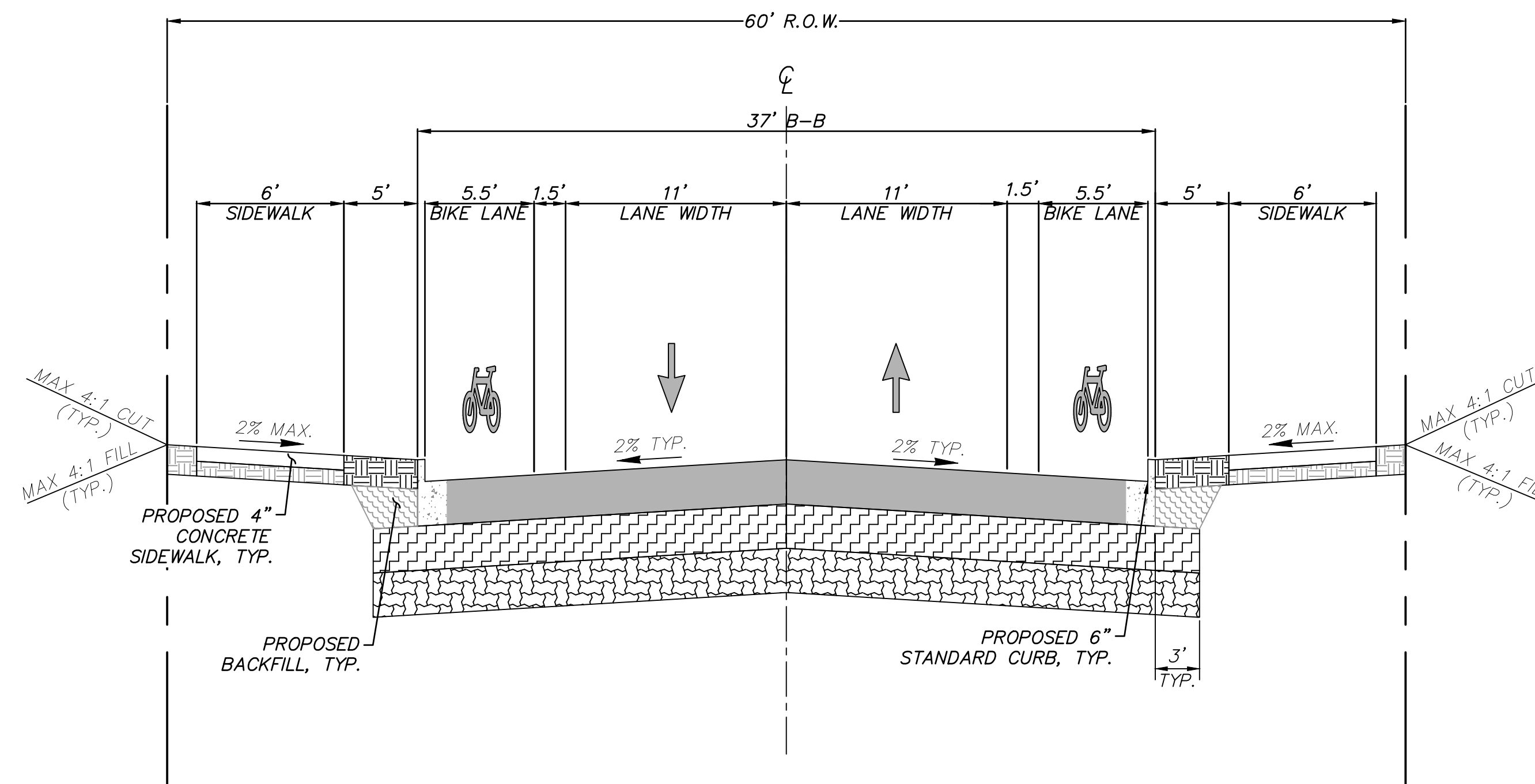
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CHECKED BY: CAM

DATE: 7/13/2021

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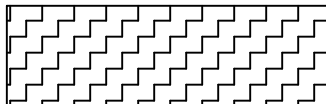

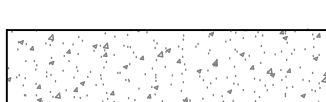
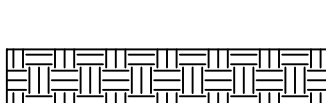
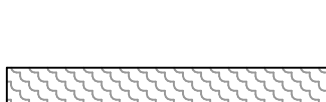
PLEASE CONTACT THE OFFICE OF THE ENGINEER FOR ANY CHANGES TO THIS PLAN.
ALL DIMENSIONS AND GRADES ARE BASED ON THE LATEST AVAILABLE DATA.
THE ENGINEER HAS CONDUCTED VISUAL VERIFICATION ONLY.
NO FIELD SURVEY OR INSPECTION WAS CONDUCTED FOR THIS PROJECT.
PRINTED WITH: DWG TO PDF v2.0



PROPOSED TYPICAL SECTION
COLLECTOR A
STA 10+00.00 TO STA 17+63.20

NOT TO SCALE

LEGEND

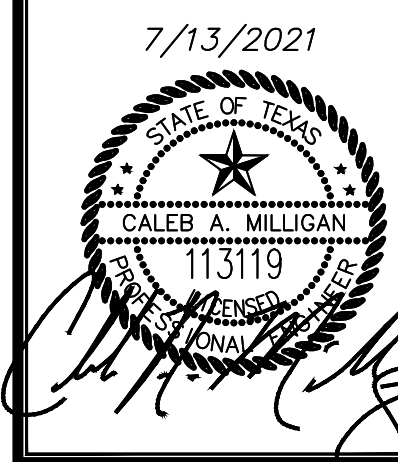
-  2.5" TYPE D HOT MIX ASPHALTIC CONCRETE PAVEMENT
-  11" FLEXIBLE BASE TY 1, GR 1
-  8" LIME STABILIZED SUBGRADE. COMPACTED TO 95% STANDARD PROCTOR DENSITY IN COMPLIANCE WITH TEX-114-E WITH -3% TO +3% OPTIMUM MOISTURE CONTENT. SUBGRADE SHALL BE STABILIZED WITH 30 LBS/SY OF HYDRATED LIME.
-  6" REINFORCED CONCRETE CURB AND GUTTER
-  PROPOSED 4" TOPSOIL
-  PROPOSED COMPACTED BACKFILL

NOTES:

1. REFER TO PAVING DETAILS FOR ADDITIONAL INFORMATION ON CONSTRUCTION OF PROPOSED PAVEMENT SECTIONS.
2. PAVING RECOMMENDATIONS ARE BASED ON GEOTECHNICAL REPORT AAA20-039-00 BY RABA KISTNER CONSULTANTS, INC. ON FEBRUARY 1, 2021.
3. SUBGRADE SHALL EXTEND THREE-FOOT (3') BEHIND BACK OF CURB.
4. PAVEMENT AND ROAD DESIGN WILL BE REVIEWED WITH THE FUTURE CONSTRUCTION PLAN SET AND MUST COMPLY WITH THE CITY OF PFLUGERVILLE'S ENGINEERING DESIGN MANUAL AND SPECIFICATIONS.

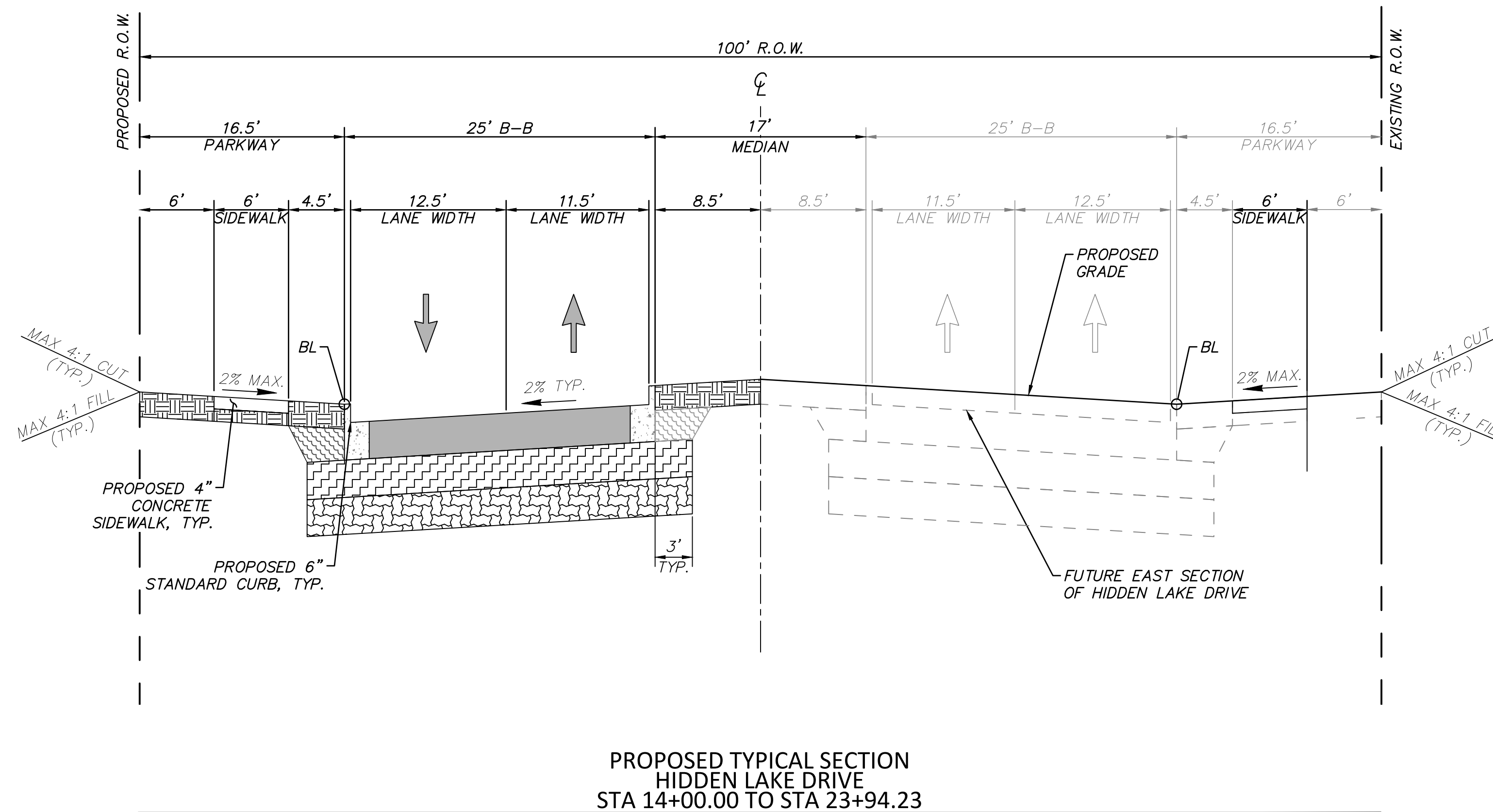
TYPICAL SECTIONS

PFLUGERVILLE ISD
ES #23
PRELIMINARY PLAN

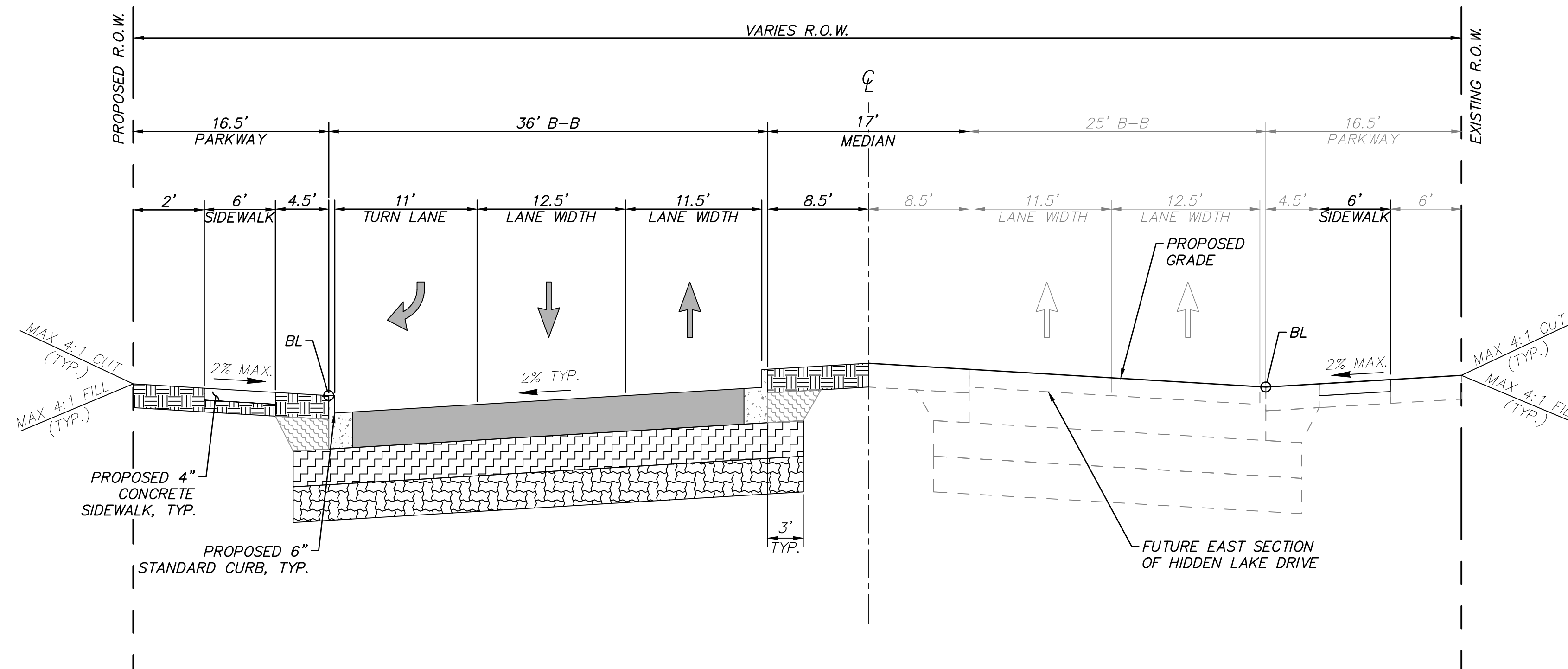


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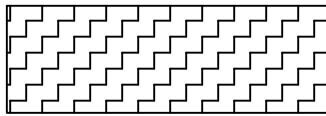

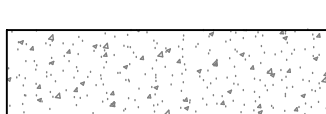
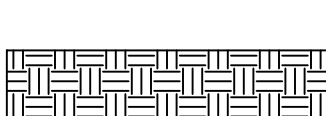
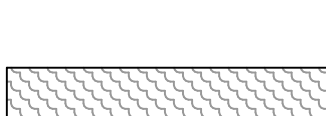


PROPOSED TYPICAL SECTION
HIDDEN LAKE DRIVE
STA 14+00.00 TO STA 23+94.23
NOT TO SCALE



PROPOSED TYPICAL SECTION
HIDDEN LAKE DRIVE
STA 23+94.23 TO STA 26+00.52
NOT TO SCALE

LEGEND

-  5" TYPE D HOT MIX ASPHALTIC CONCRETE PAVEMENT
-  13" FLEXIBLE BASE TY 1, GR 1
-  8" LIME STABILIZED SUBGRADE. COMPACTED TO 95% STANDARD PROCTOR DENSITY IN COMPLIANCE WITH TEX-114-E WITH -3% TO +3% OPTIMUM MOISTURE CONTENT. SUBGRADE SHALL BE STABILIZED WITH 30 LBS/SY OF HYDRATED LIME.
-  6" REINFORCED CONCRETE CURB AND GUTTER
-  PROPOSED 4" TOPSOIL
-  PROPOSED COMPACTED BACKFILL

NOTES:

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NO.	DATE	DESCRIPTION

TYPICAL SECTIONS

PFLUGERVILLE ISD
ES #23
PRELIMINARY PLAN



7/13/2021



JOBS NO. B006154.003

DESIGNED BY: QDP

DRAWN BY: QDP

CHECKED BY: CAM

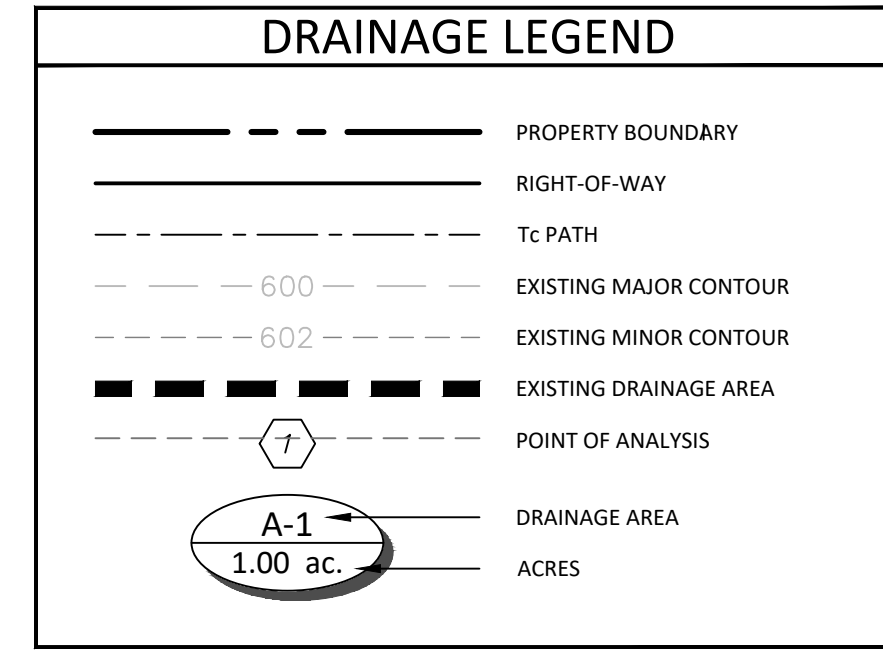
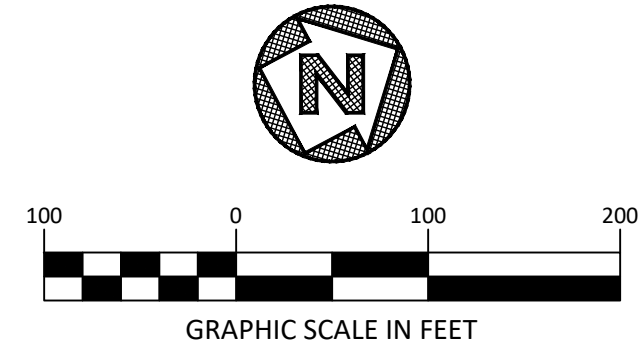
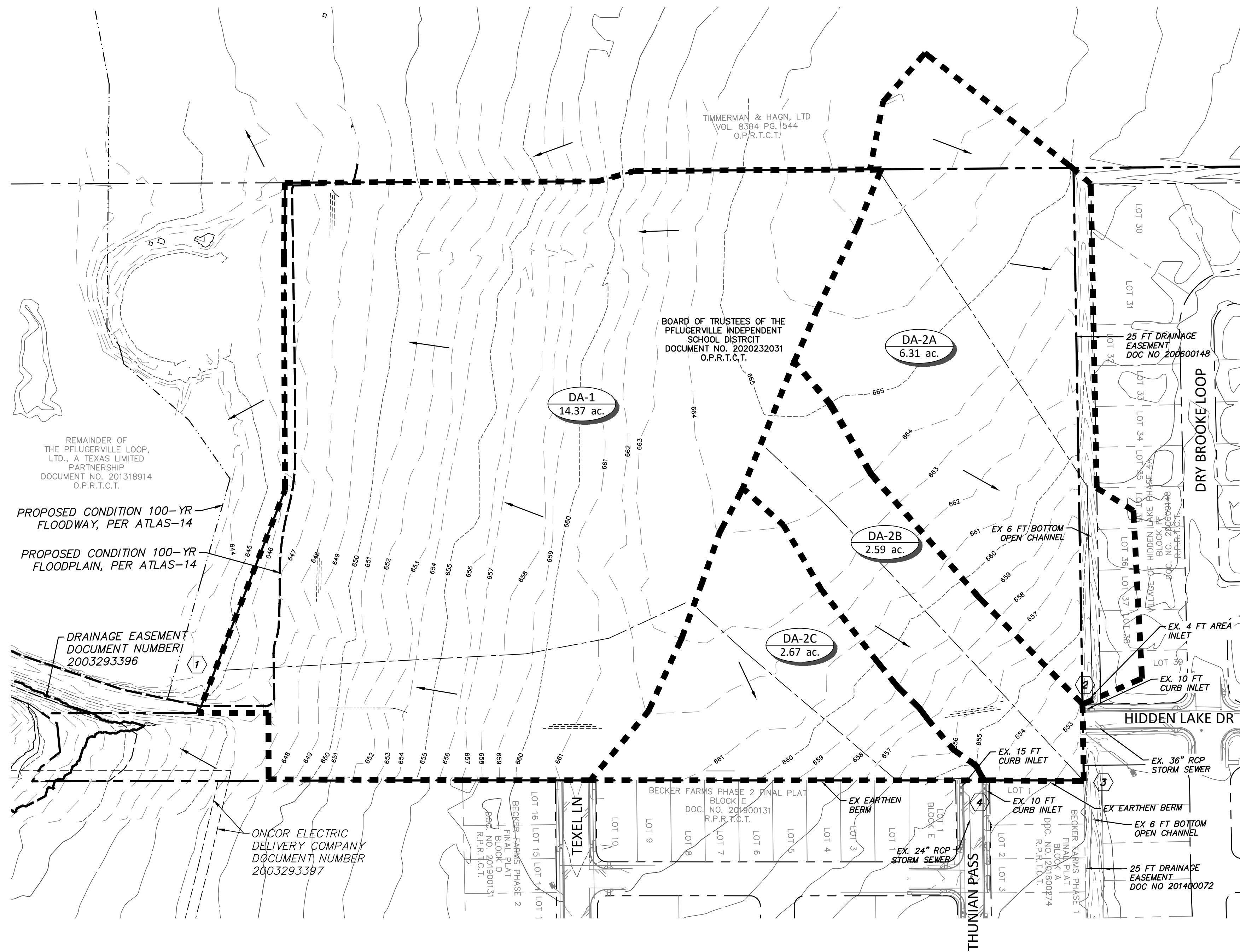
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RELEASE: 04M 09
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NOTE:

- POA (1) = DA-1
- POA (2) = DA-2A
- POA (3) = DA-2B
- POA (4) = DA-2C

REFERENCE SUBDIVISION PLANS BECKER FARMS & VILLAGES AT HIDDEN LAKE PHASE 4A FOR 25 FT DRAINAGE EASEMENT
 CITY OF PFLUGERVILLE ATLAS-14 RAINFALL DEPTHS WERE UTILIZED TO CALCULATE PEAK FLOW
 REFERENCE FLOODPLAIN ENGINEERING REPORT FOR WILBARGER CREEK TRIBUTARY 196 BY RICHARD FRITHIOF, P.E. ON FEBRUARY 2021

POINT OF ANALYSIS 1	
STORM EVENT	EXISTING (cfs)
2-YR	38.0
10-YR	71.1
25-YR	94.0
100-YR	132.0

POINT OF ANALYSIS 2	
STORM EVENT	EXISTING (cfs)
2-YR	14.6
10-YR	27.3
25-YR	36.2
100-YR	50.8

POINT OF ANALYSIS 3	
STORM EVENT	EXISTING (cfs)
2-YR	7.2
10-YR	13.5
25-YR	17.9
100-YR	25.1

POINT OF ANALYSIS 4	
STORM EVENT	EXISTING (cfs)
2-YR	7.4
10-YR	13.9
25-YR	18.4
100-YR	25.8

EXISTING Tc CALCULATIONS											
Basin ID	n-Value	Sheet Flow			Shallow Flow			Channel Flow			TOTAL CALCULATED Tc
		Lsheet	Slope	Tc	Lshallow	Slope	Tc	Lchannel	Slope	Tc	
-		ft	-	min	ft	-	min	ft	-	min	min
DA-1	0.15	100	0.018	9	579	0.030	3	0	0.000	0	12
DA-2A	0.15	100	0.008	12	446	0.017	4	309	0.022	3	19
DA-2B	0.15	100	0.025	8	537	0.022	4	0	0.000	0	12
DA-2C	0.15	100	0.035	7	287	0.014	3	97	0.024	3	13

Existing Hydrologic Summary										
Basin ID	Area	Impervious	CN weighted	ToC	LAG Time	Q2	Q10	Q25	Q100	
-	ac.	%	-	min.	min.	ft ³ /s	ft ³ /s	ft ³ /s	ft ³ /s	
DA-1	14.37	0	80.0	13	8	38	71	94	132	
DA-2A	6.31	0	80.0	19	11	15	27	36	51	
DA-2B	2.59	0	80.0	12	7	7	13	18	25	
DA-2C	2.67	0	80.0	13	7	7	14	18	26	

*ACCORDING TO NRCS WEB SOIL SURVEY, COMPUTE USING HYDROLOGIC SOIL GROUP D, GOOD CONDITION GRASS COVER.

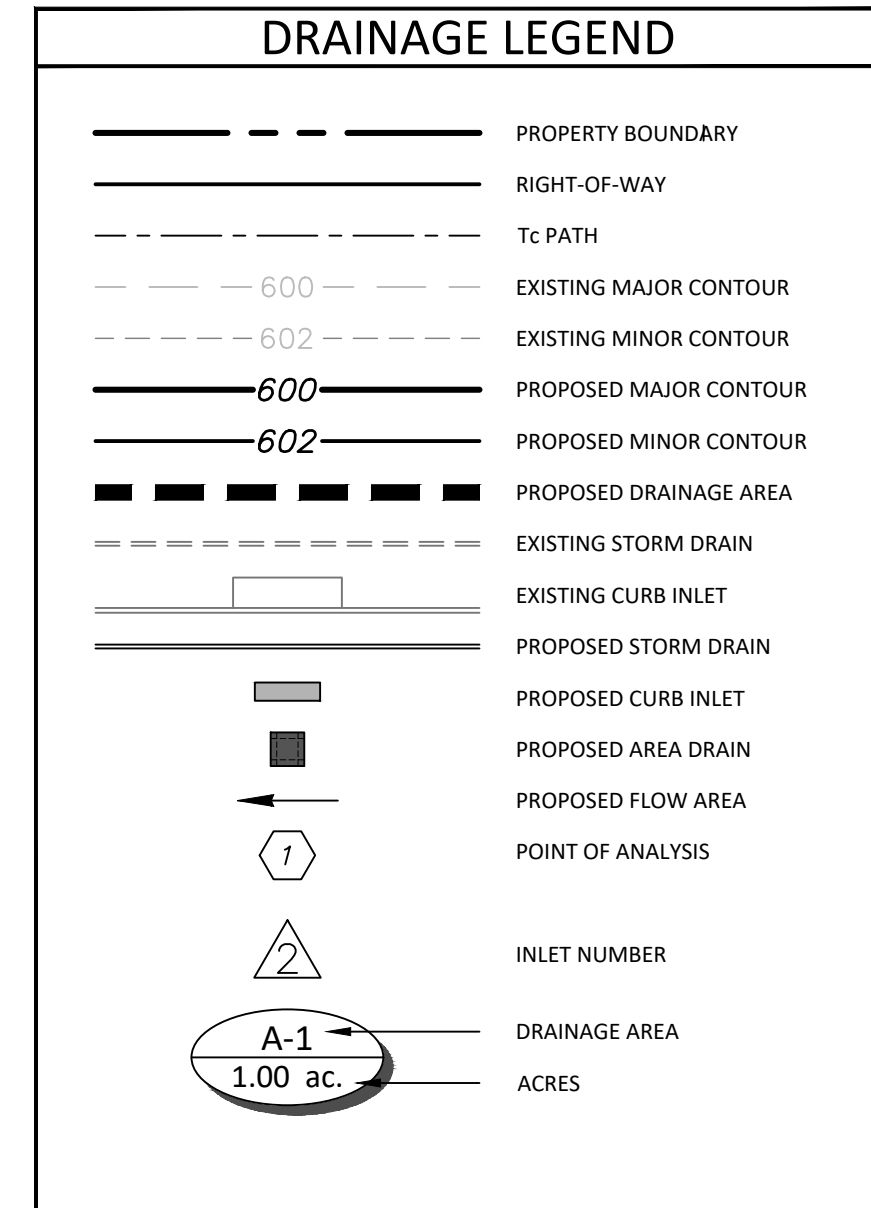
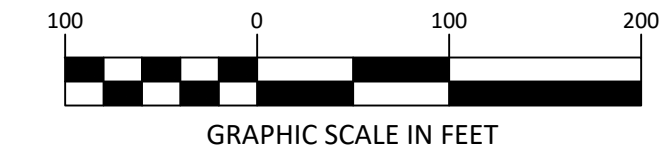
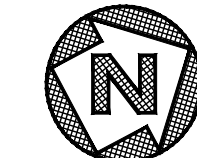
DRAINAGE AREA MAP - EXISTING

PFLUGERVILLE ISD
 ES #23
 PRELIMINARY PLAN

7/13/2021

JOB NO. B006154.003
 DESIGNED BY:
 DRAWN BY:
 CHECKED BY:
 DATE: 7/13/2021

REVISIONS	
NO.	DESCRIPTION



POINT OF ANALYSIS 1

STORM EVENT	EXISTING (cfs)	PROPOSED (cfs)	DIFFERENCE (cfs)
2-YR	38.0	37.6	-0.40
10-YR	71.1	70.6	-0.44
25-YR	94.0	93.8	-0.19
100-YR	132.0	131.8	-0.25

POINT OF ANALYSIS 2

STORM EVENT	EXISTING (cfs)	PROPOSED (cfs)	DIFFERENCE (cfs)
2-YR	14.6	14.4	-0.24
10-YR	27.3	25.3	-2.01
25-YR	36.2	32.9	-3.28
100-YR	50.8	50.6	-0.23

POINT OF ANALYSIS 3

STORM EVENT	EXISTING (cfs)	PROPOSED (cfs)	DIFFERENCE (cfs)
2-YR	7.2	3.3	-3.96
10-YR	13.5	6.1	-7.40
25-YR	17.8	8.0	-9.80
100-YR	25.1	11.3	-13.75

POINT OF ANALYSIS 4

STORM EVENT	EXISTING (cfs)	PROPOSED (cfs)	DIFFERENCE (cfs)
2-YR	7.4	6.8	-0.59
10-YR	13.9	11.0	-2.93
25-YR	18.4	13.8	-4.59
100-YR	25.8	18.5	-7.27

NOTE:
PROPOSED

$POA(1) = DA-1A + DA-1B$
 $POA(2) = DA-2A$
 $POA(3) = DA-2C$
 $POA(4) = DA-2B$

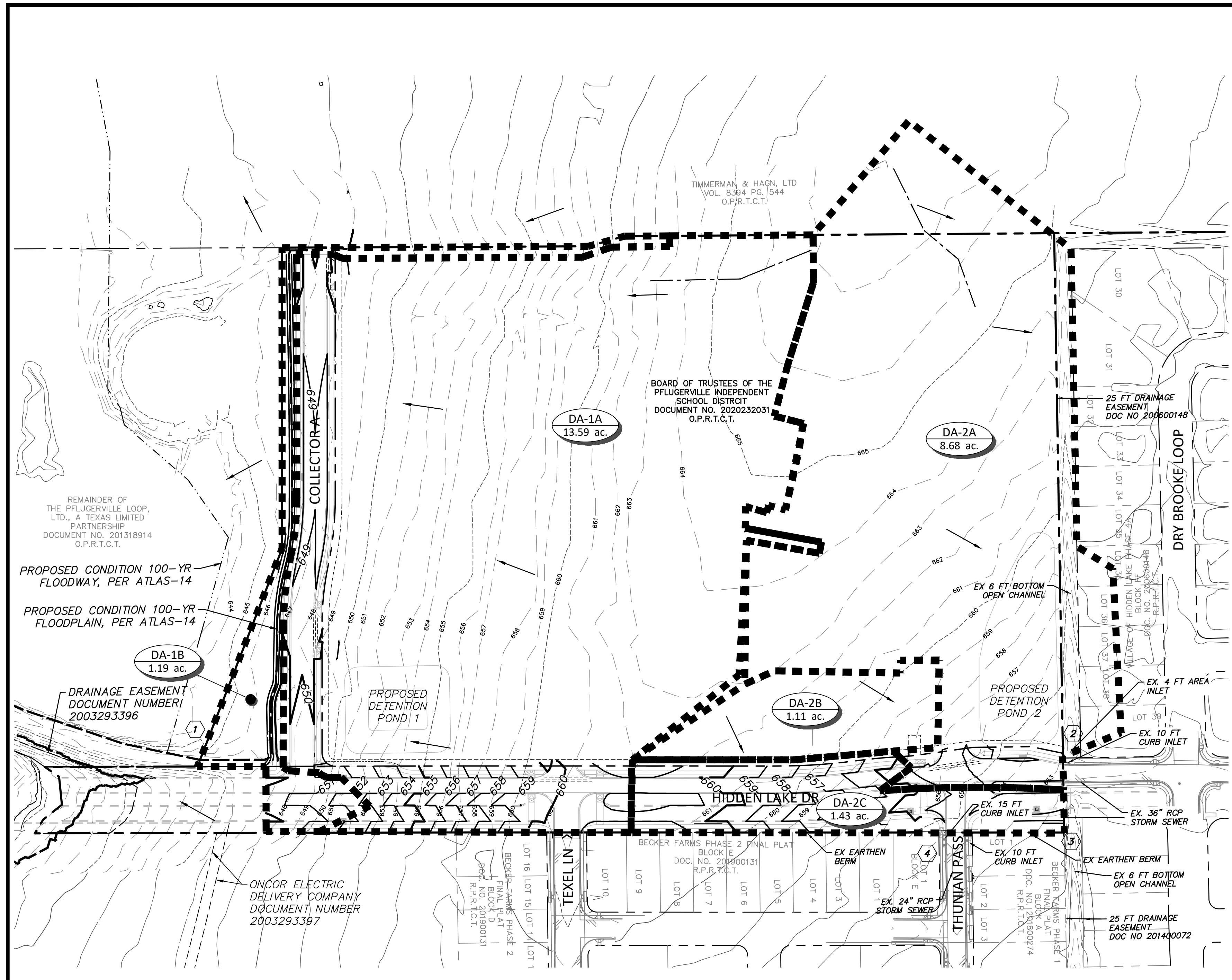
NOTE:
REFERENCE SUBDIVISION PLANS BECKER FARMS & VILLAGES AT HIDDEN LAKE PHASE 4A FOR 25 FT DRAINAGE EASEMENT
CITY OF PFLUGERVILLE ATLAS-14 RAINFALL DEPTHS WERE UTILIZED TO CALCULATE PEAK FLOW

Tc STREAM LINES IN PAVEMENT AREAS END AT STORM DRAIN INLET

REFERENCE FLOODPLAIN ENGINEERING REPORT FOR WILBARGER CREEK TRIBUTARY 196 BY RICHARD FRITHIOF, P.E. ON FEBRUARY 2021

PROPOSED ADJUSTED TIME OF CONCENTRATION VALUES AND HYDROLOGIC SUMMARY RESULTS ARE BASED ON FULLY DEVELOPED TRACT.

TWO (2) DETENTION PONDS ARE PROPOSED ON PRIVATE SITE TO DETAIN INCREASE OF RUNOFF WITHIN RIGHT-OF-WAY FOR DRAINAGE AREA DA-1A AND DA-2A.



DRAINAGE AREA MAP - PROPOSED



PFLUGERVILLE ISD
ES #23
PRELIMINARY PLAN

NO.	DATE	DESCRIPTION

7/13/2021

JOB NO. B006154.003
 DESIGNED BY:
 DRAWN BY:
 CHECKED BY:
 DATE: 7/13/2021

PROPOSED Tc CALCULATIONS

Basin ID	n-value	Sheet Flow			Shallow Flow			Channel Flow			TOTAL CALCULATED	ADJUSTED
		Lsheet	Slope	Tc	Lshallow	Slope	Tc	Lchannel	Slope	Tc	Tc	Tc
-	-	ft	-	min	ft	-	min	ft	-	min	min	min
DA-1A	0.011	100	0.029	1	0	0.600	0	855	0.01	1	2	5
DA-1B	0.011	100	0.012	1	0	0.500	0	1104	0.02	1	3	5
DA-2A	0.011	100	0.026	2	141	0.020	1	431	0.01	1	2	5
DA-2B	0.011	100	0.019	9	135	0.043	1	0	0.02	0	9	6
DA-2C	0.011	100	0.009	1	0	0.500	0	631	0.01	1	2	5

* ADJUSTED Tc USED TO CALCULATE PEAK FLOW

Existing Hydrologic Summary

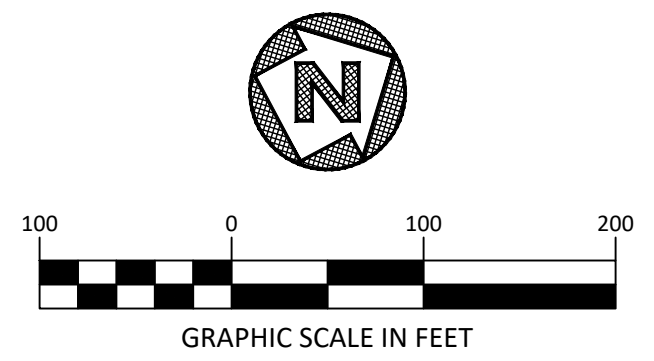
Basin ID	Area	Impervious	CN weighted	ToC	LAG Time	Q2	Q10	Q25	Q100
-	ac	%	-	min.	min.	ft ³ /s	ft ³ /s	ft ³ /s	ft ³ /s
DA-1	14.37	0	80.0	13	8	38	71	94	132
DA-2A	6.31	0	80.0	19	11	15	27	36	51
DA-2B	2.59	0	80.0	12	7	7	13	18	25
DA-2C	2.67	0	80.0	13	7	7	14	18	26

Proposed Hydrologic Summary

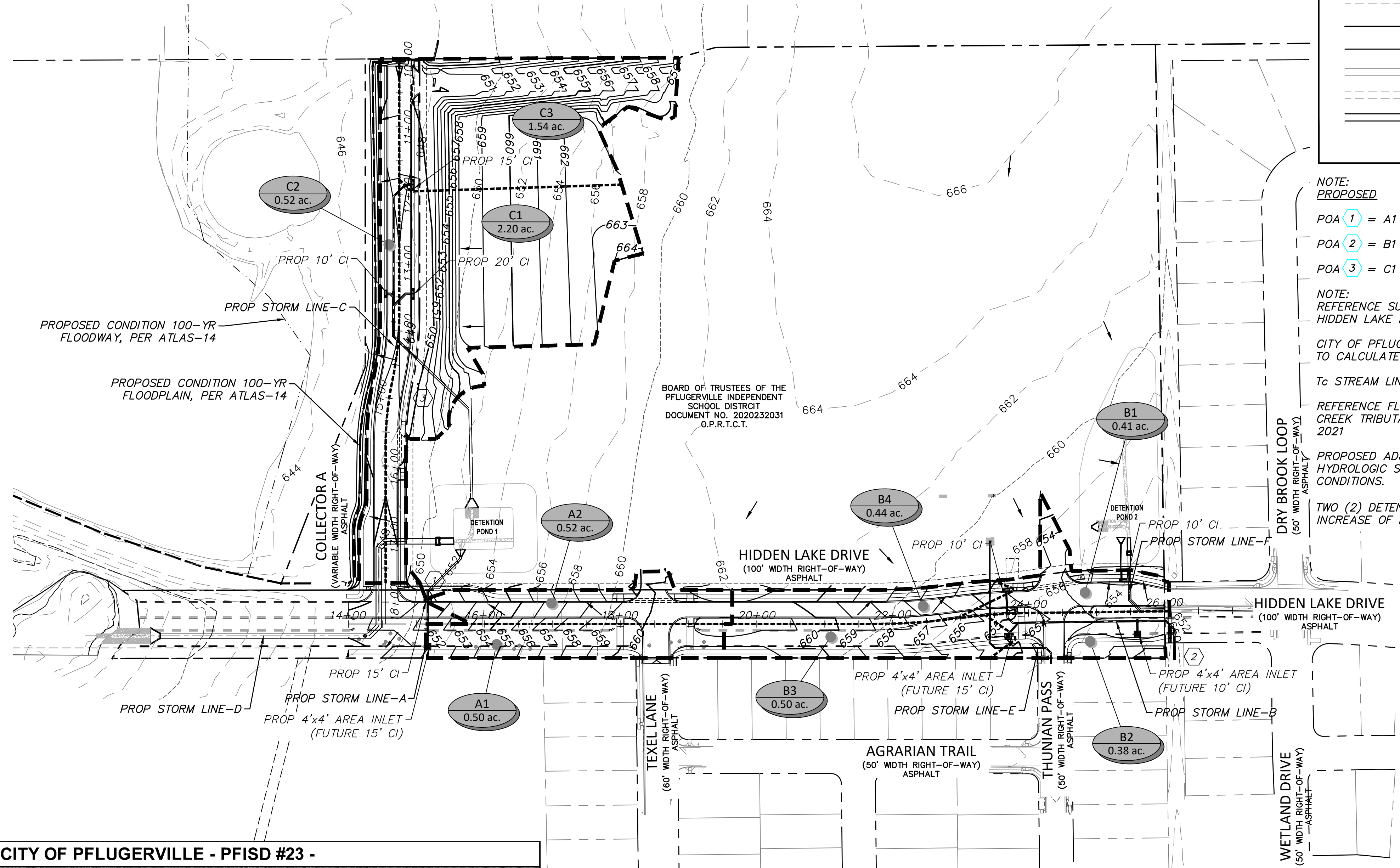
Basin ID	Area	Impervious	CN weighted	ToC	LAG Time	Q2	Q10	Q25	Q100
-	ac	%	-	min.	min.	ft ³ /s	ft ³ /s	ft ³ /s	ft ³ /s
DA-1A	13.59	44	88	5	3	62	103	130	177
DA-1B	1.19	38	87	5	3	4	7	9	12
DA-2A	8.68	27	85	5	3	36	62	79	109
DA-2B	1.11	0	80	6	4	3	6	8	11
DA-2C	1.43	57	90	5	3	7	11	14	19

*ACCORDING TO NRCS WEB SOIL SURVEY, COMPUTE USING HYDROLOGIC SOIL GROUP D, GOOD CONDITION GRASS COVER.

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	600	EXISTING MAJOR CONTOUR (5 FT)
		EXISTING MINOR CONTOUR (1 FT)
	600	PROPOSED MAJOR CONTOUR (5 FT)
		PROPOSED MINOR CONTOUR (1 FT)
		EXISTING STORM DRAIN
		FUTURE STORM DRAIN
		PROPOSED STORM
		STORMWATER FLOW DIRECTION



NOTE: PROPOSED

POA (1) = A1 + A2
 POA (2) = B1 + B2 + B3 + B4
 POA (3) = C1 + C2

NOTE:
 REFERENCE SUBDIVISION PLANS BECKER FARMS & VILLAGES AT HIDDEN LAKE PHASE 4A FOR 25 FT DRAINAGE EASEMENT
 CITY OF PFLUGERVILLE ATLAS-14 RAINFALL DEPTHS WERE UTILIZED TO CALCULATE PEAK FLOW
 Tc STREAM LINE IN PAVEMENT AREAS END AT STORM DRAIN INLET
 REFERENCE FLOODPLAIN ENGINEERING REPORT FOR MILBARGER CREEK TRIBUTARY 196 BY RICHARD FRITHIOF, P.E. ON FEBRUARY 2021
 PROPOSED ADJUSTED TIME OF CONCENTRATION VALUES AND HYDROLOGIC SUMMARY RESULTS ARE BASED ON FULLY DEVELOPED CONDITIONS.
 TWO (2) DETENTION PONDS PROPOSED ON PRIVATE SITE TO DETAIN INCREASE OF RUNOFF WITHIN RIGHT-OF-WAY.

AREA NAME	AREA (ac.)	C*A Total	Tc	WEIGHTED C	I25 (in/hr)	Q25 (cfs)	I100 (in/hr)	Q100 (cfs)	COMMENTS
1	2	2k	3	4	6	7	8	9	10
Runoff Data									
A1	0.50	0.45	5.00	0.90	11.35	5.11	14.89	6.70	TO INLET A1
A2	0.52	0.47	5.00	0.90	11.35	5.31	14.89	6.97	TO INLET A2
B1	0.41	0.37	5.00	0.90	11.35	4.19	14.89	5.50	TO INLET B1
B2	0.38	0.34	5.00	0.90	11.35	3.88	14.89	5.09	TO INLET B2
B3	0.50	0.45	5.00	0.90	11.35	5.11	14.89	6.70	TO INLET B3
B4	0.44	0.40	5.00	0.90	11.35	4.50	14.89	5.90	TO INLET B4
C1	2.20	0.96	5.00	0.44	11.35	10.99	14.89	14.42	TO INLET C1
C2	0.52	0.47	5.00	0.90	11.35	5.31	14.89	6.97	TO INLET C2
C3	1.54	0.66	5.00	0.43	11.35	7.52	14.89	9.86	TO INLET C3

NO.	DATE	DESCRIPTION

DRAINAGE AREA MAP - ROADWAY

PFLUGERVILLE ISD ES #23

PRELIMINARY PLAN

5707 Southwest Pkwy • Bldg. 2 • Suite 250 • Austin, Texas 78735
Tel: 512.306.8232 (TX REG. F-1114)

7/13/2021

JOB NO. B006154.003

DESIGNED BY: QDP

DRAWN BY: QDP

CHECKED BY: CAM

DATE: 7/13/2021

SHEET: **10**

FULL PATH: C:\pflugar\2021\0606154\003\Drawings\Plan\Sheet\10.dwg
 PLOTTED BY: GIBBERIO, J. A. 7/13/2021
 PLOTTED AT: 4:35:33 PM
 PLOTTED WITH: DWG TO PDF.PCS