

LAKE SIDE MEADOWS

A Planned Unit Development
East Pflugerville Parkway
Pflugerville, Texas

Submittal Date: November 4th, 2019

Amendment 1 Date: January _____ 2022



Prepared By:



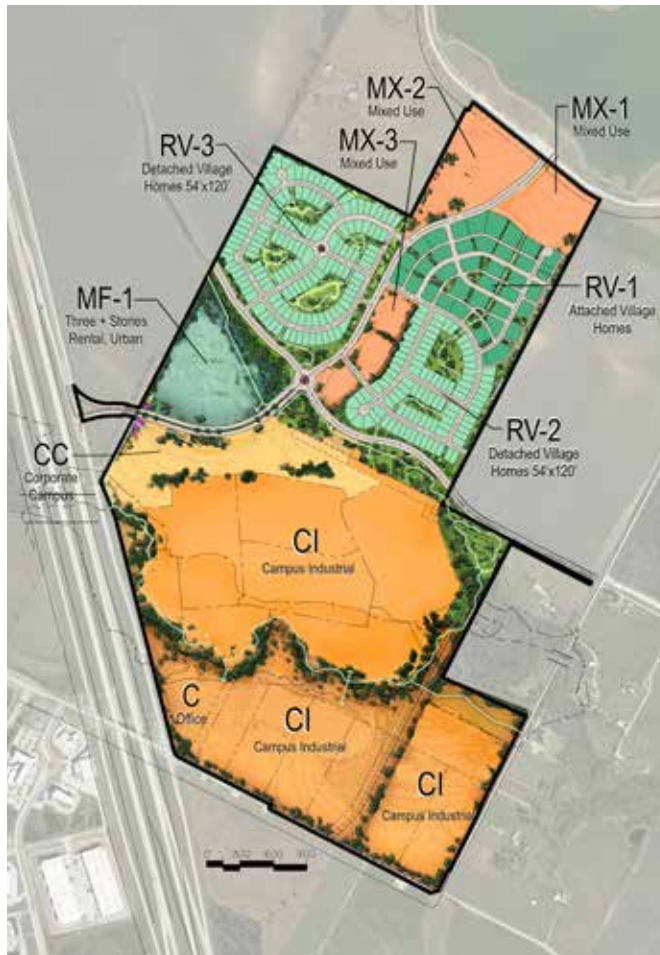
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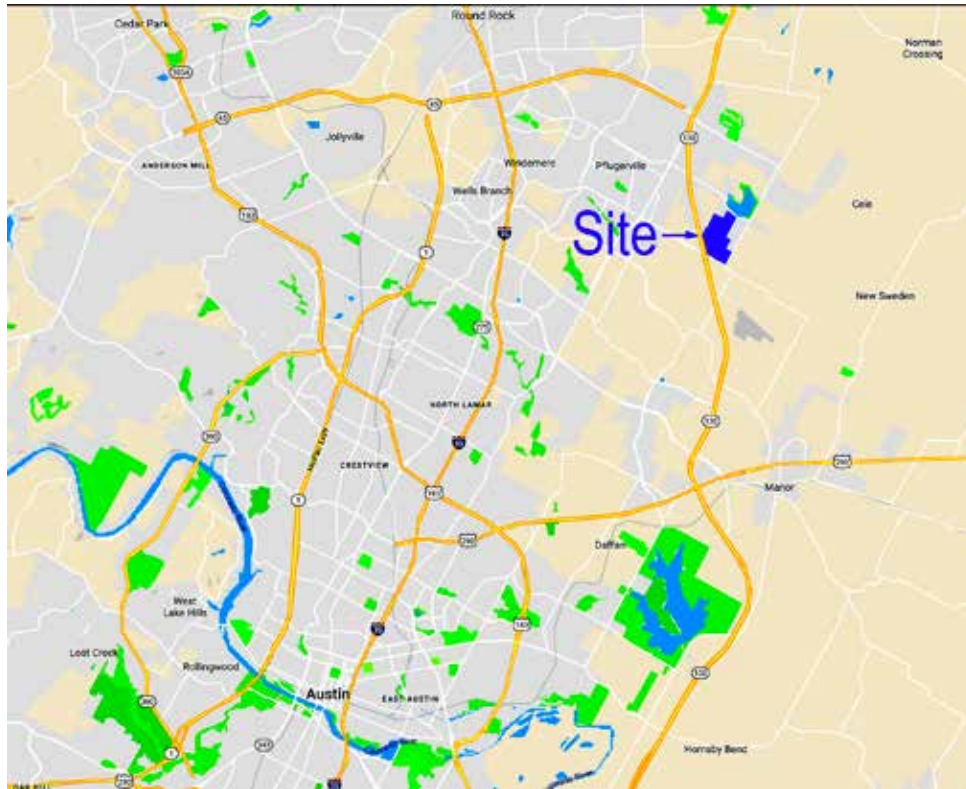
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LAKESIDE MEADOWS

Existing Conditions



Zoning



Floodplain



Area Trails





PUD Overall

Mixed use development with a variety of housing choices and an urban destination & activity center.

Development Area Standards

The standards listed herein are the regulating standards guiding the development. If an item is not addressed in this document then the regulating authority is the City of Pflugerville UDC.

General Requirements

Purpose and Intent:

These Development Standards describe the Planned Unit Development zoning entitlements and development requirements (the “PUD”) for Lakeside Meadows (“Lakeside Meadows”, the “Project”, or the “Development”). This rezoning allows several contiguous and undeveloped parcels in the City of Pflugerville (the “City”) to be developed as a superior quality mixed-use project.

Development Plan:

Lakeside Meadows is a high quality community proposed for development on approximately 416.634 acres of land. It will consist of a mix of residential, office, light industrial, retail uses, anchored by a mixed-use, **eivic** and entertainment destination abutting the south shores of Lake Pflugerville. The development will also include a large corporate campus and industrial sites. The Project will be of such a character and complexity that adherence directly to the City’s existing Unified Development Code (UDC) would prevent the Project from reaching its full potential for developing a unique urban destination and activity center. Specific goals are built into the development plan:

- Provide for a unique mix of **eivic**, commercial and residential uses bound by an active urban mixed-use destination to create a center leveraging the proximity of Lake Pflugerville and parkland amenities.
- Provide for a diversity of housing types including single family detached, attached, multifamily and urban style vertical mixed use.
- Provide for neighborhoods in walking distance from urban activity and employment opportunities.
- Provide for a large employment center/corporate campus that provides jobs near planned residential areas.
- Provide for unique streetscape sections that enhance the development’s appeal with shade trees, landscaping, sidewalks and bike lanes while providing for needed overall multi-modal connectivity including off-street trail connections in support of a diversity of uses.
- Provide for extensive parkland and open space amenities that enhance both the residential, commercial, and mobility aspects of the development.

Consistency with Comprehensive Plan and Unified Development Code:

Lakeside Meadows is designed as a high quality mixed-use community consistent with the goals and policies of the Comprehensive Plan and the UDC of the City. Development

shall be approved in accordance with the City's UDC CL-4, ~~SF-MU~~, ~~GL-5~~ and CI Zoning District Regulations, the Engineering Design Manual, the Building and Fire Codes, and other applicable codes and ordinances unless otherwise stated within this ordinance. Where an unintentional conflict may occur, the applicable City codes and ordinances shall prevail. No provisions in this PUD shall preclude compliance with building, fire, health and safety codes adopted by the City of Pflugerville. As the Development is implemented, adjustments may be needed to maintain the vision of the Project. Modifications ~~and minor amendments in~~ of the UDC are noted below.

Unified Development Code Modifications

Subchapter 4 – Zoning Districts and Use Regulations

Development Regulations:

PUD areas RV-1, RV-2, RV-3, shall follow the SF-MU district as a base zoning; MF-1, MX-1, MX-2, MX-3, CC and C will follow the CL-4 ~~and GL-5~~ UDC development regulations including the exceptions noted below:

- If residential in provided, minimum Density shall be 10 units/acre for RV-1, 20 du/acre for MX-1,2,3 and 28du/acre for MF-1
- Maximum Density shall be 28 45 units/acre
- Maximum height in MX-1, MF-1 zones: 65'

Subchapter4; 6.4. Home Occupation: Home occupation will follow UDC with Exception of being restricted to portions of RV-1 as defined in that section, and no use of accessory dwelling units.

PUD area CI will follow the CI in the UDC development regulations with the exceptions noted in the allowable land use table.

Subchapter 10-Parking, Mobility, and Circulation;10.4.9 Structured Parking Standards Exceptions

1. All MX and MF1 developments will utilize structured parking to handle a minimum of 80% of parking requirements by UDC Subchapter 10, Table 10.4.6 required parking ratios.
2. MX zones will calculate parking for both residential and commercial uses to be combined for the structured parking capacity.
3. All development with a density of 20 du/ac or greater will utilize structured parking to handle a minimum of 80% of parking requirements by UDC Subchapter 10, Table 10.4.6 required parking ratios.
4. The roundabout intersection of Balaton Blvd and Colorado Sands Drive will have an enhanced pavement design for pedestrian crosswalks with stamped asphalt pavement system. Details for the pattern, color, and construction specifications will be provided with the construction plans for the proposed roadway

Fire Code:

1. Development will follow the UDC Fire Code with exception of
 - a. All MX zone buildings will be sprinkled
 - b. The urban design allows for street trees. The trees are space 30' apart and adequate space is anticipated between trees for aerial access. If the gaps between trees closes in then tree trimming may be performed to permit adequate aerial access to buildings.
 - c. At site plan review, the Fire Department staff will review the plans and determine if the measure are adequate and may require further elements or actions to ensure adequate fire protection.

Hike and Bike Trail

1. Hike and Bike Trail: Closed loop private trails throughout the Project shall ~~may~~ be constructed to a width of 10 feet, ~~with 6 feet in width~~ being composed of concrete.
2. The side of the trail facing a ~~floodplain creek or drainage in the floodplain~~ shall be constructed with concrete then stabilized with erosion control measures through grading and landscape establishment
3. Hike and Bike trail maintained by the POA

1. Bioswales shall be permitted within the Project
2. Tree Preservation and On-Site Mitigation; Trees that are planted for streetyard or other landscaping requirements shall also count towards on-site tree mitigation requirements.
3. Streetscape Yard Standards; Type C (ornamental) trees may be planted along pedestrian streets-capes/building frontages.
4. See MX and MF-1 sections for additional UDC exceptions.
5. Minimum landscape percentage requirements in the UDC are not required for mixed use structures or multifamily structures when constructed as an urban design as envisioned in this PUD

Master Transportation Plan Modifications:

For the purposes of the Development, the City's Master Transportation Plan shall apply, with the following additional modifications:

1. A "Street A" street with a total of 90' of ROW
2. A "Street B" street with a total of 70' of ROW
3. A "Street C" street with a total of 70' of ROW and street trees in ROW on one side
4. A "Street D" street with a total of 90' of ROW and street trees in ROW on both sides
5. A "Street E" street with a total of 115' of ROW (Blvd Main Entry) and street trees in ROW on both sides
6. A "Local Road" street with a total of 50' of ROW
7. An "Alley" street with a total of 25' ROW
8. Street sections with street trees will require license agreements for POA maintenance
9. Pedestrian Bridge or Pedestrian Tunnel Crossing
 - a. Developer to participate in the pedestrian bridge or tunnel with a funding contribution at a funding level sustainable by the PID in place for the overall PUD Project, but in no event shall the funding contribution by the Developer and/or PID exceed \$1,500,000.
 - b. City to coordinate the design and construction of the pedestrian bridge or tunnel from the south side of Pflugerville Parkway to the north side of Pflugerville Parkway with notices and schedules sent to the Master Developer or the owner of the tract, if tract is sold
 - c. If the PUD regional trail network is in place prior to the construction of the pedestrian bridge or tunnel, then the City will connect the bridge to the PUD regional trail network on the south side of Pflugerville Parkway. If the City constructs the bridge or tunnel prior to the PUD regional trail network being in place, then the Master Developer or the owner of the tract if the tract has been sold will connect the PUD regional trail network to the bridge landing on the south side of Pflugerville Parkway.
 - d. ~~Bridge alignment coupled with an at grade crossing with decorative pavement, gateway level of monumentation and landscape, and appropriate signage and signalization.~~
 - e. Final bridge or tunnel project will be maintained by the City. Final bridge or tunnel project to be described and include elements within the ROW, both surface and elevated, and outside of the ROW of Pflugerville Parkway or Balaton Blvd if elements occur there.

Minor PUD Amendments:

Minor changes, revisions, and modification to these development standards and exhibits that do not substantially increase the overall density of the Development may be approved administratively by the City Manager, if the City Manager determines in his/her sole and absolute discretion to be a minor

change, revision, or modification. Examples of minor changes, revisions, or modifications may include but are not limited to minor street/drive alignments, phasing, utility location and easements with exception of overhead electric, minor adjustments to open space placement provided the amount of open space and character is not decreased, architectural standards establishing an enhanced architectural appearance not otherwise achievable under the specified code references (City Manager may defer to the Planning and Zoning Commission to consider the proposed architecture).

Owner's Associations:

Property Owner's Association for all non-residential areas outside of the RV-2 and RV-3 zones, and Homeowner's Association for the RV-2 and RV-3 zones will be required to be established with the first final plat, as applicable.

Development Area Standards

The Standards listed herein are the regulating standards guiding the development. If an item is not addressed then the regulating authority is the City UDC.

Overall PUD:

1. Overall PUD to have a uniform look and feel granted by consistent or complimentary materials, uniform wayfinding system, consistently themed street furniture, lighting and signage. The first phase of site development will establish the palette for these elements moving forward. In providing this level of amenity, the developer will enter into a 15 year development agreement that spells out the details of the private and public elements of the PUD. This will include a maintenance agreement for the Owner's Associations (HOA/POA) to maintain all of the developed and undeveloped parkland dedicated and include all landscape improvements, irrigation systems, park amenities, restrooms and trails with 5 year renewable options.
2. Lighting levels will be regulated by the base zoning standards listed in the UDC.
3. Road sections:
 - a. Roads to be striped for cycling (shared or independent lanes as allowable) and wayfinding shall include connectivity to trail system.
 - b. All street sections with less than 30' of pavement, measured face of curb to face of curb, which are not provided with recessed parking shall be designated as public streets.
 - c. All streets that have trees within the ROW will be required to have the **HOA/POA Property Owner's Association** maintenance keep the trees trimmed to allow 14' of clearance.
4. Parking requirements: **Since the actual uses have yet to be determined**, parking requirements and the associated provisions of parking structures or surface parking lots will follow the UDC and will be determined at the site plan stage with each increment of development. See also criteria #5 in the overall MX zones section.
 - a. **CI parking will be a rate described in the UDC of 1 space per 1000 square feet, minimum of 1:2000 unless an alternative parking plan is presented and approved by the administrator at site plan permitting stage.**
5. Overall lot sizes are on page 12 and setbacks listed in individual zone sections as well as in Table Exhibit F on page 22.
6. Impervious Cover (IC):
 - a. Maximum Impervious Cover (IC) shall be considered on the overall development divided by two categories of north of the creek and south of the creek with sub-categories as stated below and not on a lot by lot basis. The maximum ic shall be;
 - i. 65% on single family detached and attached residential and
 - ii. 80% on the mixed use, multi-family, and other commercial properties. Targets by zone will use as a guideline:
 1. 85% on MX zones
 2. 70% on MF-1 and CC Combined

3. ~~South of the creek; the combined land uses of C and CI will not exceed~~ 80% on combined land uses of C and CI. The process and mechanism of calculating and tracking IC will be to establish an overall chart at the site plan stage with the stated limits above. As site permits are processed the actual numbers are documented on the site permit and the master IC chart on the preliminary plan will be updated through an amendment. This method provides an accounting and status of the permit at the time, and the overall master IC calculations. At the point of the last site permit is being submitted for approval, an audit will be performed to further establish the final allowable IC limit whether it be more or less than the standard applied at the beginning.
7. Where possible, the overall drainage strategy will incorporate bioswales for stormwater infiltration, filtration, and detention.
8. Detention requirements will be confirmed with a drainage study to be provided for review at the Preliminary Plan stage.
9. All existing and proposed utility infrastructure will be placed underground with the exception of the LCRA utilities.
10. The development shall include connections to existing City utility infrastructure for water and wastewater service. Detailed studies shall be submitted for review with the Preliminary Plan.
11. Trees:
 - a. Refer to the City of Pflugerville, Tree Technical Manual: Standards & Specifications for all requirements not amended in this PUD document.
 - b. Tree mitigation can be used in aggregate across the entire site where permissible tree planting can happen. Areas of high amenity interest (MX zones), neighborhood streetscape including ROW street trees (where permissible by the regulating street sections), and private pocket parks will be prioritized.
 - c. No shade trees allowed over a PUE.
 - d. For any site permitting or subdivision process requiring at least 10 trees, a minimum of four different native or well adapted shade tree species required, with any one species no more than 40% of the total shade tree count.
 - e. For any site permitting or subdivision process requiring at least 10 ornamental trees, a minimum of 3 native or well adapted ornamental tree species with any one species having no more than 50% of the total ornamental tree count.
 - f. Minimum shade tree spacing is 30' on center. Ornamental tree species, no closer than 10'.
 - g. Urban Parkland Corridors, once the location and extents are defined as part of the site plan process, will be required to have 1 shade tree or 2 ornamental trees for every 1000 square feet of corridor area. Total tree quantities in that area to have at least 40% shade trees by count.
 - h. All pedestrian zones will have at least 1 shade tree or 3 ornamental trees for every 2000 square feet of pedestrian space. Total tree quantities in that area to have at least 40% shade trees by count. Other requirements such as street trees count toward this calculation. (See MX Overall landscape bullet point, page 26).
 - i. Alternative compliance may be proposed to the planning director for conditions such as architectural constraints (or proposals) or other conditions preventing the full calculated quantity.
 - j. An option will be allowed to discuss an alternative design at the preliminary plan stage to move public utilities under the street pavement and protect both the curb line and utilities with a root barrier, and using a paver system in the street for easy removal and servicing of utility lines. The paver system can be a demarcation of a (shared or dedicated) cycling lane as well. Conceptual sketch sections such as Exhibits H and J show the concept with street trees. Utilizing the standard street cross sections and the standards building setbacks of 15' effectively prevents shade trees from being planted in the street zone. The provision of trees in close proximity to the street are an important feature for the vitality of the urban zone, the health of the City for air filtering

and heat island effect as well as psychological effects of being in a park-like setting. As seen in the engineering section below, the space between back of curb and the property line is reserved for public utilities disallowing street tree plantings. The 10' PUE on the private property side also eliminates the possibility of street trees. That is a minimum of 20' from back of curb before a shade tree is even possible, (10' into the 15' minimum building setback). By placing the public utilities under the street edge, the trees can be planted and realize full canopies along with ground level landscape as a landscape edge between traffic and pedestrian zones. To accomplish this, a root barrier will be installed on the back of curb to protect both the curb line and the utilities from root damage.

- k. Any trees planted within the ROW will have to have an associated license agreement.

12. Development Phasing:

- a. First phase of the development which includes any single family detached lots shall consist of 50,000 sf of commercial space within the MX-3, C, & CC zones **(in combination but not necessarily all zones)** and will be platted and developed concurrently with 250 single family detached lots and 250 multi-family units. Additionally, the creek trail as indicated on the City Trail Master Plan, will also be constructed within the boundaries of the PUD property.
- b. Subsequent phasing: Complete all additional single family detached concurrently with 40,000 sf of MX-3 facing Street C or MX-2 facing Street C; Specific locations to be determined at site planning stage.
- c. Pflugerville Parkway: Development tracts facing Pflugerville Parkway will follow a similar phasing once Pflugerville Parkway is constructed. Site development proposals will be brought to the City to continue site development permitting of additional phases.
- d. RV-1 tract will develop in stages as direct connections to Street C and Pflugerville Parkway can be constructed.
- e. Balance of the tract remainder: Remaining MF-1, CC, CI, and C tracts will develop following market demands **and may occur during the first phase.** A Transportation Impact Analysis (TIA) shall be performed on the overall PUD with the first development subdivision process.
- f. **MX-3: The development of these tracts (design through construction) will commence with the zoning approval and extend of the next 5-7 years.**

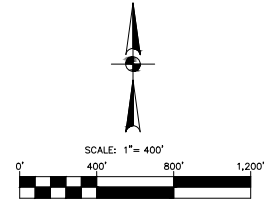
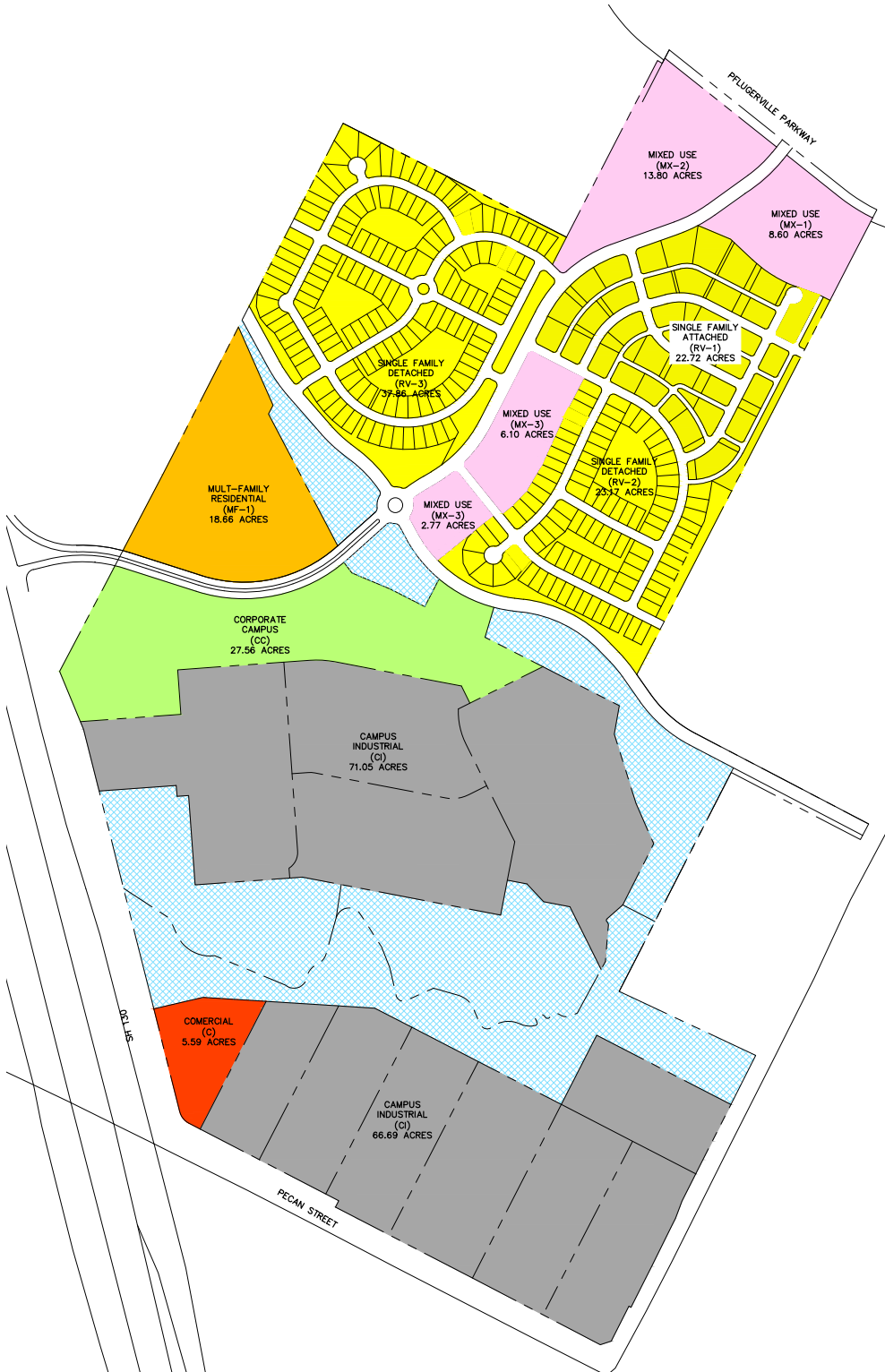
13. Land Use Conditions:

- a. Day care facilities in the MX zones **will be an independent use**, to be on upper floors in a location adjacent to outdoor a children's play area or park-like setting. In zones MF-1, CC, CI, C; location will be on the ground floor with direct access to a forested children's play area or park-like setting.
- b. Drive thru facilities are not allowed unless it is associated with a financial institution where the drive thru is located within a structured parking garage.
- c. Multi-family is only allowed in MX zones when established as a vertical mixed use structure with residential only allowed above the first story.
- d. Multi-family is only allowed in RV-1-3 zones when established as a vertical mixed use structure with residential only allowed above the first floor.
- e. Non-residential in the MX1-3 and MF-1 shall only be permitted when established as part of a vertical mixed use structure.
- f. **Light industrial land use will not have outdoor storage. They may have individual covered trash compactors located adjacent to truck docks as long as not seen from public areas.**
- g. Utilities and WTF will follow the condition requirements in the UDC.
- h. Within CI zoned district, outdoor storage **is not allowed. Individual covered trash compactors adjacent to the truck docks and not visible from public view are allowed permitted when not visible from, appropriately screened, and set back at least 100' from a public right-of-way. shall only be allowed for storage of material related to the operations of the primary use of the tenant or owner-occupier. Approval of such storage shall be considered through the Specific Use Permit process.**

14. Land uses on the land use chart that are assigned an “S” will follow the requirements for a special use permit in the UDC.
15. Definitions: All other definitions not addressed here revert to UDC Subchapter 20.
 - a. BMP: Best management practice
 - b. Children’s play area: An area or requirement defined as children’s play may include a variety of play equipment approved by the City but also where possible, include nature play elements such as grassy hills, rope swings, loose parts, sand pits, water play, or any other natural elements for natural context stimulation. To qualify as a significant amenity (see definition) it must be 800 sf or more in area.
 - c. Condominium: A dwelling unit with an arrangement under which a tenant in an apartment building or a complex of multiple dwelling units holds the full title to a unit and has joint ownership in the common grounds. This definition does not apply to single family detached homes.
 - d. Developer: any subsequent developer, after the master developer, that negotiates to purchase a portion, or joins in partnership with the master developer of the project as their own investment separate from the Master Developer’s initial actions.
 - e. Developer (Master Developer): Master Developer is the land development person, partnership, or company that sets up the overall PUD and responsible for the initial overall project design, definition, zoning and related entitlement processes and then funds the first phase features of the development inclusive of the preliminary plan which triggers the parkland development fee.
 - f. Enhanced tree planting: Primarily this refers to following research by renown urban arborist James Urban. Other equally qualified research also applicable. As a general rule; a shade tree expected to have a 35’ diameter canopy and 16” caliper trunk is required to be planted in a tree pit 3’ deep with 1000 cubic feet of soil. Approximately 18’x 18’ uncompacted soil if square pit. Shade tree planting zone not to be less than 4’ wide.
 - g. Enhanced landscape: is defined by having a higher level of landscape or landscape value in an area no less than 10,000 square feet within a pedestrian zone. This includes the following: Enhanced tree planting techniques (see definition), 20% more trees than required by caliper inches (tree count or tree size), Urban Parkland Corridors, 50% more landscape (aside from trees) than what is required or displacing 50% of impervious cover in pedestrian zones with landscape.
 - h. HOA: Homeowner’s association., Specifically related to residential development zones.
 - i. High amenity interest: Areas of the development (primarily the frontage of all MX zones), where activity and pedestrian presence will have the highest levels of aesthetic and feature expectation.
 - j. Owner’s Association: This term is inclusive of **both** a Homeowner’s Association, **and** a Property Owners Association, **and Condominium Association**.
 - k. Park: An area devoted towards open space and recreation defined by UDC Subchapter 20. This definition includes but is not limited to trails, structures and uses that are designed for recreation, educational and sport activities. Inclusive of private parks, public parks and parkland.
 - l. Parking Structure: An above grade, ramp access, open-air structure specifically designed to accommodate vehicular parking. Parking structures will be completely shielded from public view with exception of entry points, and commercial building gaps no more that 30’ wide and heavily screened with landscape. Larger building gaps up to 60’ wide are allowable if the gap is accommodating a pocket park with activity, children’s play area, music or similar venue, or other special feature, still with heavy landscape screening, upon review and approval by planning director at the site plan review level.
 - m. Parkland Development Fee: A development fee associated with residential developments’ responsibility to provide payments to the City, for the construction of amenities utilized by the general public, within public parks and (as defined here) Urban Parkland Corridors. Urban Parkland Corridors will be considered as public for the purposes of the calculation of the fees described in detail in Subchapter 14, Public Parkland Standards and the Parks Development Manual.

- n. Parkland, Private: Land, located within a subdivision, owned and maintained by a private entity such as a homeowner's association and to which use of the facility is restricted to the residents of that subdivision. This definition may include an amenity center. For this PUD, Linear parks, trails, and other open spaces that perform a pedestrian or cycling conveyance are open to the overall PUD community. Private parks on the backsides of residential homes in the RV-3 section are for the exclusive use of the homes backing onto these spaces.
- o. Parkland, Public: Park areas within the overall development that are defined by survey and conveyed to the City through a dedication process as part of the subdivision process. Public parkland will be maintained by the City or as defined by development agreement.
- p. Pedestrian Zone: All spaces where the general public would or could walk between the back of curb to the face of the building. This excludes parking and service areas. Pedestrian zone can also occur between buildings connecting outdoor spaces away from the street corridors.
- q. POA: Property Owners Association, specifically associated with commercial development zones.
- r. PUD: Planned Unit Development
- s. PUE: Public Utility Easement, an easement used by private franchised providers install their lines.
- t. Significant Amenity: Defined by larger features such as amphitheater, enhanced landscape 10,000 sf or more, Urban Parkland Corridor if connected to PUD-wide system, Water play features comprising 800 sf or more, music performance space, children's play area of 800 sf or more, etc.
- u. Urban Parkland Corridor: Park-like features that are not dedicated as parkland but are linear corridors through the MX zones that have enhanced features and a higher percentage of landscape, similar to public parks, that will serve the general public but are associated with the urban core context. They must connect across from MX-1 destinations and southward to the residential trail or sidewalk including crosswalks. Urban Parkland Corridors will also have a designated cycling lane that is at same elevation as pedestrian walking surfaces but distinguished by one of more paving pattern, material, color, or vertical elements. The cycling lane will be a standard width accommodating two-way cycling traffic.
- v. Home Occupation: A home occupation is that accessory use of a dwelling that constitutes all of some portion of the livelihood of a person or persons living in the dwelling. For the purposes of this ordinances, a home occupation may not be a detached accessory dwelling unit.
- w. **Continual Care Residential Community (CCRC): This refers to commercial residential care developments that cater primarily to seniors with a variety of care and housing types. There are potentially three care areas in separate buildings; Independent Living, Assisted Living, and Memory Care. Each type has an increased level of care with Memory Care having the most medical functionality, privacy, and security. With the Memory Care unit, Extra spacing from traffic sounds and public is necessary. Extra space for therapeutic and sensory gardens may also be part of the programming and spatial requirements. Parking and turnaround space at the front door is important for emergency services and transport.**

Land Use Plan Exhibit A



LEGEND

- CORPORATE CAMPUS - 27.56 ACRES
- CAMPUS INDUSTRIAL - 137.74 ACRES
- MIXED USE - 31.27 ACRES
- COMMERCIAL - 5.59 ACRES
- MULTI-FAMILY RESIDENTIAL - 18.66 ACRES
- SINGLE FAMILY DETACHED RESIDENTIAL - 61.03 ACRES
- SINGLE FAMILY ATTACHED RESIDENTIAL - 22.72 ACRES
- FLOODPLAIN/OPEN SPACE - 75.72 ACRES
- STREETS/RIGHT OF WAY - 36.34 ACRES

TOTAL PUD BOUNDARY - 416.63 ACRES



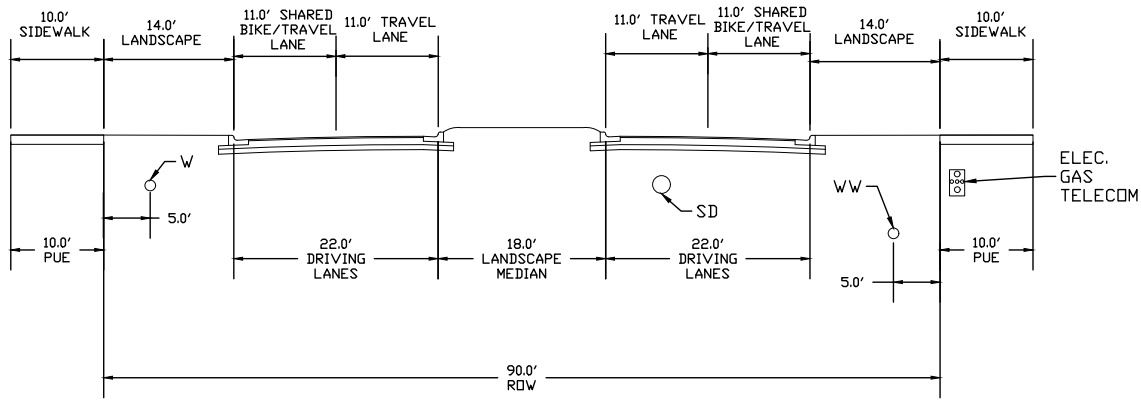
AUSTIN | SAN ANTONIO | HOUSTON | FORT WORTH | DALLAS
 10801 N MOPAC EXPY, BLDG 3, STE 200 | AUSTIN, TX 78758 | 512.454.8711
 TBPB FIRM REGISTRATION #470 | TBPUS FIRM REGISTRATION #1028801



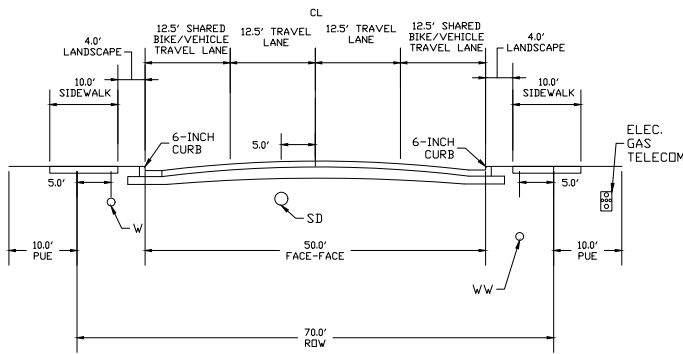
Circulation Plan Exhibit B



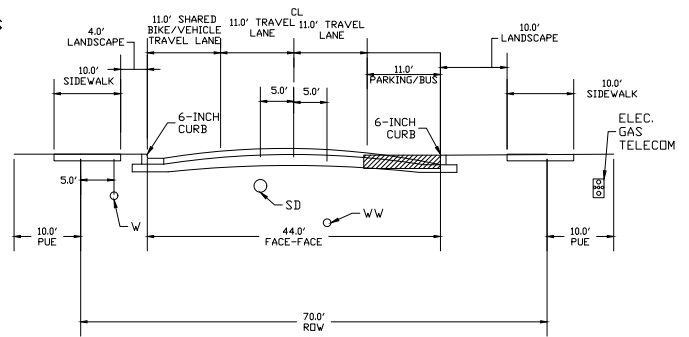
Regulatory Street Sections Exhibit C



STREET "A"
SUBJECT TO FINAL APPROVAL WITH
PRELIMINARY PLAN/CONSTRUCTION PLANS



STREET "B"
SUBJECT TO FINAL APPROVAL WITH
PRELIMINARY PLAN/CONSTRUCTION PLANS



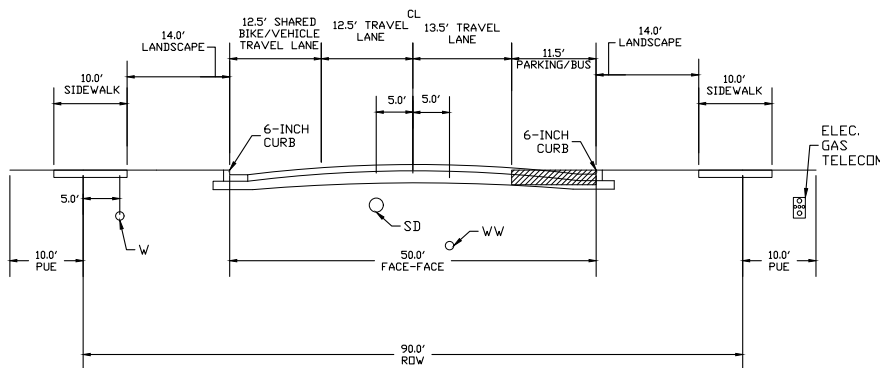
STREET "C" URBAN SECTION
SUBJECT TO FINAL APPROVAL WITH
PRELIMINARY PLAN/CONSTRUCTION PLANS

STREET TREES WITHIN THE RDW TO BE INCLUDED WITH THE PUBLIC INFRASTRUCTURE PLANS AND WILL REQUIRE A LICENSE AGREEMENT FOR PDA MAINTENANCE.

Section aligned with LCRA Esmt

NOTE:

An option will be allowed to discuss an alternative design at the preliminary plan stage to move public utilities under the street pavement and protect both the curblines and utilities with a root barrier, **and using a paver system in the street for easy removal and servicing of utility lines. The paver system can be a demarcation of a shared cycling lane as well.**



STREET "D" URBAN SECTION
SUBJECT TO FINAL APPROVAL WITH
PRELIMINARY PLAN/CONSTRUCTION PLANS

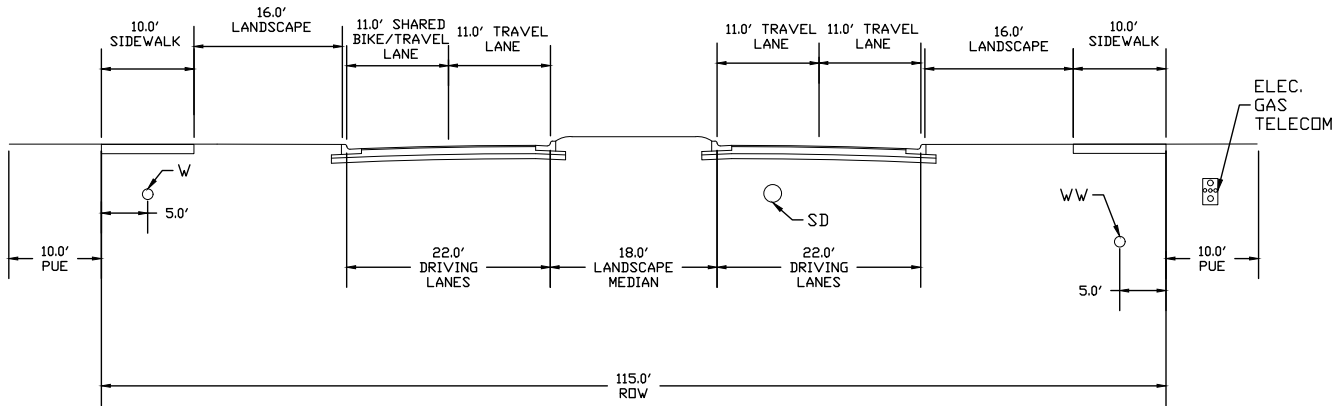
Conceptual sketch sections such as Exhibits H and J show the concept with street trees. **Street trees will be possible in street sections C, D, & E. and will require a license agreement with the POA for maintenance at the time of public infrastructure plan permitting**



AUSTIN | SAN ANTONIO | HOUSTON | FORT WORTH | DALLAS
10801 N. MO-PAC EXPY, BLDG 3, STE 200 | AUSTIN, TX 78759 | 512.454.8711
TBE FIRM REGISTRATION #470 | TPLS FIRM REGISTRATION #10028801

Regulatory Street Sections Exhibit C

A LICENSE AGREEMENT FOR POA MAINTENANCE.



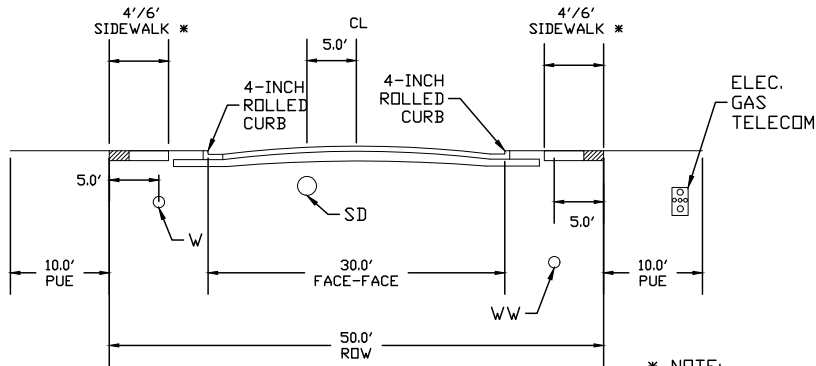
STREET "E" ENTRY

SUBJECT TO FINAL APPROVAL WITH PRELIMINARY PLAN/CONSTRUCTION PLANS

STREET TREES WITHIN THE ROW TO BE INCLUDED WITH THE PUBLIC INFRASTRUCTURE PLANS AND WILL REQUIRE A LICENSE AGREEMENT FOR POA MAINTENANCE.

An option will be allowed to discuss an alternative design at the preliminary plan stage to move public utilities under the street pavement and protect both curblines and pavement with a root barrier and using a paver system in the street to allow street shade trees in the pedestrian zone.

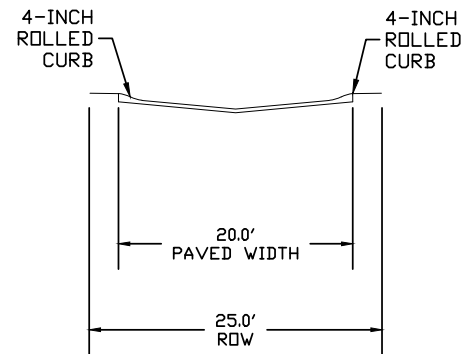
A LICENSE AGREEMENT FOR POA MAINTENANCE.



LOCAL STREET

SUBJECT TO FINAL APPROVAL WITH PRELIMINARY PLAN/CONSTRUCTION PLANS

* NOTE:
6' SIDEWALKS SHALL BE PROVIDED FOR SINGLE-FAMILY ATTACHED AREAS.



ALLEY

SUBJECT TO FINAL APPROVAL WITH PRELIMINARY PLAN/CONSTRUCTION PLANS

Road Sections:

The road sections above are the regulatory sections that will be used throughout the project. All sketch concept sections in this document will base the design from these sections. Road sections C & D show the sidewalks as a minimum provision. In the MX zones, the sidewalks become larger pedestrian paseos and may include alternate designs by bringing street trees and landscape within the ROW and a broader sidewalk or paseo within the private development tract that will be 10' wide minimum interspersed with landscape and site furnishings. Pedestrian access easements and license agreements may be required.



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Parkland

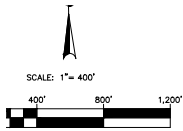
Public & Private Overall

1. Parkland:

- a. All public parkland ~~outside of RV-2, RV-3~~, will be dedicated and maintenance the responsibility of the Property Owner's Association. ~~All public parkland and private parkland within RV-2, RV-3 will be maintained by the Homeowner's Association.~~ In the event that enhancements beyond standard maintenance operations are installed in public parkland, then the overall HOA assumes the maintenance of the specific enhanced areas. Maintenance requirements will be determined at the site plan review stage.
- b. Criteria for public parkland dedication; City UDC 14.3.5; All parkland will follow the UDC for the dedication criteria.
- c. HOA will maintain all private parkland/open space and a license agreement will be required for maintenance of any improved public parkland, should a higher level of maintenance be required.
- d. All trails will be 10' wide concrete trails within all public parks and right of way areas. See Parkland/Open Space Exhibit D, page 18 for conceptual trail alignments. Within development tracts with private parkland maintained by a property owners association. ~~the trail systems may split the 10' trail with a combination of concrete and decomposed granite at the discretion of the developer.~~
- e. For tree mitigation or site requirements and its application regarding parks or site permitting processes, see Development Area Standards, Overall PUD note #7.
- f. Within the MX zoned areas, Urban Parkland Corridors (see definitions) will be established to facilitate pedestrian and cyclist movements connecting PUD from the south most development to Pflugerville Lake. The corridors will align with conceptual, proposed, or developed parkland or trail terminations on the south side of Pflugerville Parkway with associated ~~broad crosswalks pedestrian crossing~~. The corridors will be:
 - i. Maximum of 50' wide, minimum of 30' wide
 - ii. Have a boutique shop feel
 - iii. Have enhanced landscape features such as lawn areas, seating, forested, water features, drinking water fountains, kid features, etc.
 - iv. Be the location of the requirements of UDC 9.3.6, Amenities provision for mixed use development. See Overall MX Zones, page 28, #9 for more information.
- g. Parkland Fees
 - i. Parkland Dedication Fees are to be invested into the public trail system with trail construction being the first priority. If there are fees left unused, then the remainder will be allocated to the trail's wayfinding system.
 - ii. Parkland Development Fees will be divided across the public spaces within the PUD. Development Fee credit toward improvements in public parkland and urban parkland corridors shall be at the discretion of the Parks and Recreation Director but will consider the following:
 1. The allocation of funding will be open to discussion with the developer(s).

2. The priorities will include specific improvements listed in the Overall MX Zones section of this report.
3. Parkland enhancements by the provision of development fees will include but not be limited to the following:
 - a. Landscaped plazas and paseos
 - b. Children's play
 - c. Systems of linear parkland joining the larger trail network.
 - d. Use of potable water in fountains and water play features.
 - e. Use of reuse water in public space irrigation including the public trails with options for the extension of reuse infrastructure for private use upon discussion with the appropriate department(s).
 - f. Comprehensive unified design of wayfinding, street furniture, and public lighting (street and pedestrian).
 - g. Public art, see section on public art in the MX section.
 - h. Shade structures, pavilions, performance spaces and power requirements of any kind in for these spaces.
 - i. Infrastructure for food truck plazas or edges.
 - j. Public space paving options
 - i. Enhanced ADA access and crosswalk design
- h. Dog Park: A dog park with a minimum one half acre of land shall be developed along the public trail within the floodplain/open space area with less than 5% slope and following the City of Pflugerville's Parks Development Manuel; Appendix A.
- i. Detention ponds not allowed in public parkland dedication areas
- j. Trail corridors passing though private parkland need to have a dedicated access easement
- k. City will consider Park Development credit for improvements to the regional trail areas, i.e., trailhead, restrooms, kiosk, overlooks, interpretive stations, disc golf, etc.

Parkland/ Open Space Exhibit D



SINGLE FAMILY (RV-2 & RV-3) 61.03 ACRES	
Number of Units:	249 Units
Persons/Unit:	3
Acres Required to be Dedicated:	4.93 Acres
Development Fee per unit:	\$745
Development Fee:	\$185,505

MULTI-FAMILY (MF-1) 18.66 ACRES @ 45 DU/AC - MAX 839 UNITS	
Number of Units:	730 Units
Persons/Unit:	2
Acres Required to be Dedicated:	9.64 Acres
Development Fee per unit:	\$496
Development Fee:	\$362,080
Maximum Acres Required by Max Density	11.07 Acres
Maximum Development Fee by Max Density	\$416,144

MULTI-FAMILY (RV-1) 22.72 ACRES	
Number of Units:	196 Units
Persons/Unit:	2
Acres Required to be Dedicated:	2.59 Acres
Development Fee per unit:	\$496
Development Fee:	\$97,216

MULTI-FAMILY (MX) 31.27 ACRES @ 45 DU/AC - MAX 1407 UNITS	
Number of Units:	274 Units
Persons/Unit:	2
Acres Required to be Dedicated:	3.62 Acres
Development Fee per unit:	\$496
Development Fee:	\$135,904
Maximum Acres Required by Max Density	18.57 Acres
Maximum Development Fee by Max Density	\$697,872

Total Acres Required to be Dedicated:	20.77 Acres
Total Park Development Fee Required:	\$780,705

OVERALL LAKESIDE MEADOWS PUD PARKLAND DEDICATION	
TOTAL PUBLIC PARKLAND PROVIDED	47.47 Acres
PUBLIC PARKLAND WITHIN REGULATORY FLOODWAY (NO CREDIT)	24.06 Acres
PUBLIC PARKLAND BETWEEN FLOODWAY AND 100-YEAR FLOODPLAIN (50% CREDIT)	23.41 Acres
TOTAL CREDITABLE PUBLIC PARKLAND PROVIDED	11.71 Acres

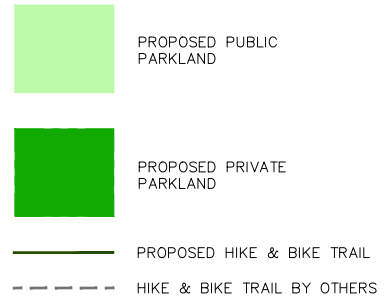
Public Parkland Required:	20.77 Acres
Creditable Public Parkland Provided:	11.71 Acres
Parkland Dedication Fee-In-Lieu	9.07 Acres
Fee-In-Lieu Amount	\$ 394,880.11

PARKLAND FEE ASSESSMENT BASED ON ACTUAL UNITS, NOT ON ZONING DENSITY OR MAXIMUM YIELD POTENTIAL AND ASSESSED AT SITE PLAN PERMITTING STAGE.

PAPE-DAWSON ENGINEERS

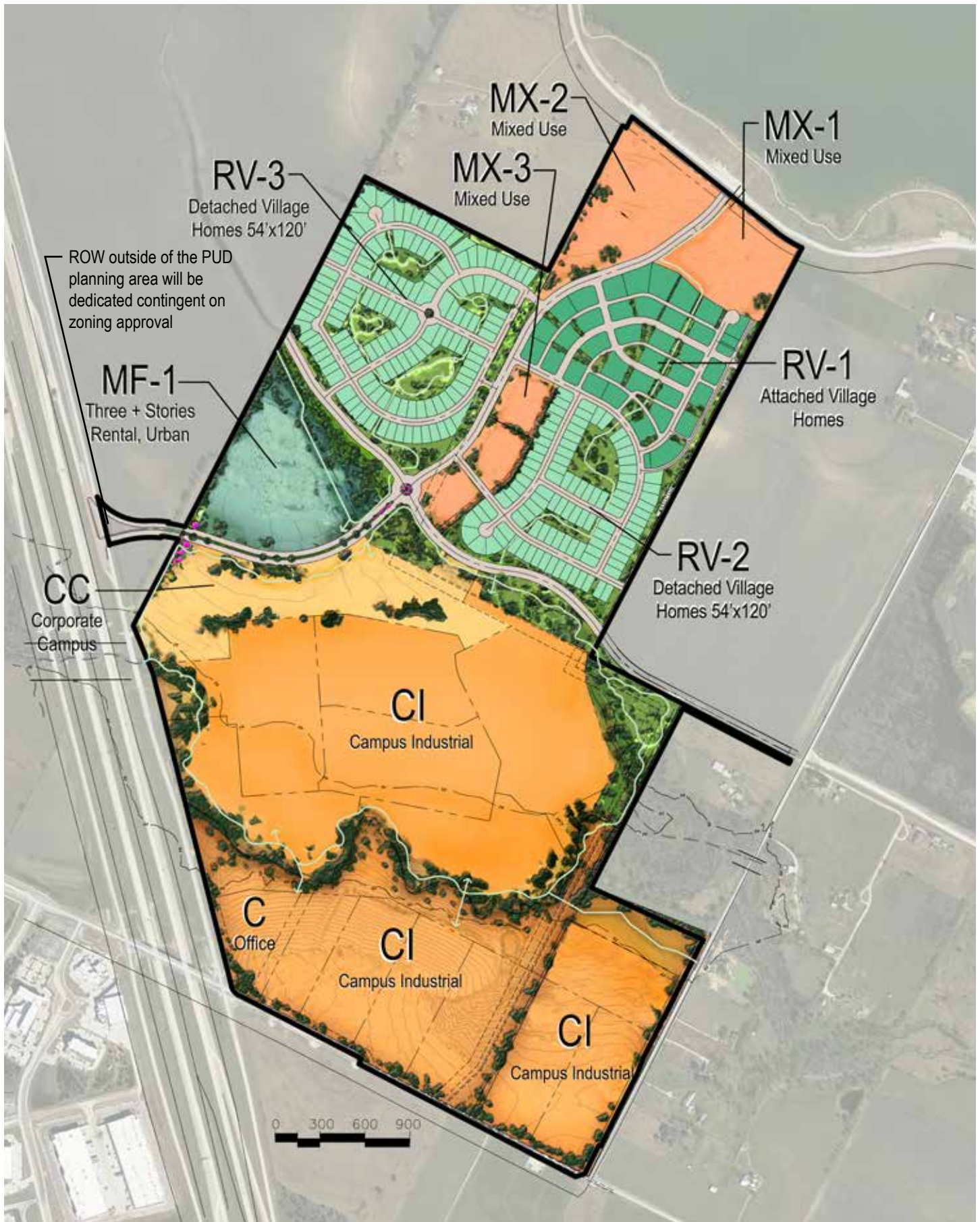
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1. PARKLAND CALCULATIONS ARE PRELIMINARY AND SUBJECT TO CHANGE. A FINAL PARKLAND PLAN WILL BE INCLUDED WITH THE PRELIMINARY PLAN.
2. SINGLE-FAMILY RESIDENTIAL VILLAGES RV-2, RV-3 USE 3 PERSONS/UNIT FROM PFLUGERVILLE UDC CHAPTER 14 GUIDELINES FOR 0 TO 6 UNITS PER ACRE.
3. MULTI-FAMILY, MX-3, AND RV-1 USE 2 PERSONS/UNIT FROM PFLUGERVILLE UDC CHAPTER 14 GUIDELINES FOR 15 TO 25 UNITS PER ACRE.
4. TRAIL ROUTES ARE SCHEMATIC AND SUBJECT TO CHANGE WITH FINAL DESIGN.
5. TRAILS SHALL BE CONSTRUCTED PER CITY STANDARD DETAILS UNLESS OTHERWISE NOTED.
6. TRAIL CONNECTIONS TO VARIOUS LAND USE ZONES WILL BE PROVIDED AS NECESSARY.
7. PARKLAND FEE-IN-LIEU TO BE ASSESSED ON A PER-UNIT BASIS AT THE TIME OF BUILDING PERMIT FOR ALL MULTI-FAMILY DEVELOPMENT.
8. PUBLIC PARKLAND DEDICATED TO THE CITY SHALL NOT CONTAIN RETENTION/DETENTION FACILITIES.
9. TRAIL CORRIDORS TRAVERSING THROUGH PRIVATE PARKLAND/OPEN SPACE SHALL HAVE A DEDICATED PUBLIC ACCESS EASEMENT AND SHALL BE MAINTAINED BY THE POA.



LAKESIDE MEADOWS
CITY OF PFLUGERVILLE
PARKLAND EX

CITY NO. 50627-01
JOB NO. 50627-01
DATE JUNE 2021
DESIGNER TK



Illustrative Master Plan; Exhibit E

Land Use Table

Residential Uses	MX 1-2	MX-3	RV-1	RV 2-3	MF	CC	CI	C
Assisted Living / CCRC	P		P	P				
Condominium	P	P			P			
Live Work Unit	P	P	P		P			
Multi-Family	C	C	C		P			
Single Family Attached (3 or More) Townhome			P					
Single Family, Detached				P				
Non-Residential Uses								
Bar/Tavern	P	P			P	P	P	P
Brewpub/Wine Bar	P	P			P	P	P	P
Brewer/Distillery/Winery, Micro	P	P			P	P	P	P
Business Services							P	
Call Center							P	
Catering Establishment	P	P					P	
Civic Center / Conference Center	P	P				P		
Clinic	P	P				P	P	P
College, University, Trade School, or Private Boarding School						P	P	
Commercial Recreation and Entertainment, Indoor	P	P				P	P	P
Commercial Recreation and Entertainment, Outdoor	S					S		S
Convention Center	P	P						
Data Center							P	
Day Care Facility	C	C	P	P	C	C	C	C
Distribution/Logistics Center							P	
Dry Cleaning, Major							P	
Dry Cleaning, Minor	P	P					P	P
Event Center	P							
Financial Institution	P	P						P
Food Processing Establishment, Minor							P	
Government Facilities	P	P					P	
Health/Fitness Center	P	P			P	P	P	P
Hospital						P	P	P
Hotel/Hotel Residence	P	P					P	P
Household Appliance Service and Repair							P	

Non-Residential Uses	MX 1-2	MX-3	RV-1	RV 2-3	MF	CC	CI	C
Industrial Uses (Light)							P	
Liquor Store (Off-Premise Consumption)	P	P						P
Machine Shop							P	
Massage Therapy, Licensed	P	P			P			P
Mobile Food Park	P	P				P		
Museum/Art Gallery	P	P			P			P
Office/Showroom							P	
Office/Warehouse							P	
Office: Administrative, Medical, or Professional	P	P			P	P	P	P
Park or Playground	P	P	P	P	P	P	P	P
Personal Services	P	P			P			P
Place of Worship	P	P	P	P	P	P	P	P
Print Shop/Major							P	
Print Shop/Minor	P	P			P			P
Public Plaza	P	P				P		
Research and Development Center						P	P	
Restaurant	P	P			P	P	P	P
Retail Sales and Services	P	P			P	P	P	
Retail Sales - Single Tenant of 50,000 SF							P	P
School: Private or Parochial			P	P			P	
Theatre, Neighborhood	P	P						
Theatre, Regional	P	P						
Trade School							P	P
Transit Terminal (Park & Ride)							P	P
Utilities							C	
Wireless Telecommunication Facilities (WTF)							C	

See Land Use Conditions and General Regulations and Height Standards on the following page.

Land Use Conditions:

- a. Day care facilities in the MX zones ~~may to~~ be on upper floors in a location adjacent to outdoor a children’s play area or park-like setting. In zones MF-1, CC, CI, C; location will be on the ground floor with direct access to a forested children’s play area or park-like setting.
- b. Drive thru facilities are not allowed unless it is associated with a financial institution where the drive thru is located within a structured parking garage.
- c. Multi-family is only allowed in MX zones when established as a vertical mixed use structure with residential only allowed above the first story.
- d. Multi-family is only allowed in RV-1-3 zones when established as a vertical mixed use structure with residential only allowed above the first floor.
- e. Non-residential in the MX1-3 and MF-1 shall only be permitted when established as part of a vertical mixed use structure.
- f. Utilities and WTF will follow the condition requirements in the UDC.
- g. Within CI zoned district, outdoor storage ~~is not allowed. Individual covered trash compactors adjacent to the truck docks and not visible from public view are allowed. permitted when not visible from, and set back at least 100’ from a public right-of way line.~~ shall only be allowed for storage of material related to the operations of the primary use of the tenant or owner-occupier. Approval of such storage shall be considered through the Specific Use Permit process.
- h. If a conditional use is not spelled out here then refer to the UDC and specific zoning for conditions
- i. Land uses on the land use chart that are assigned an “S” will follow the requirements for a special use permit in the UDC.

Table of General Regulations and Height Standards Exhibit F

Table of General Regulations and Height Standards										
General Regulations	MX-1	MX-2	MX-3	RV-1	RV-2	RV-3	MF-1	CC	CI	C
Base Zoning	CL-4	CL-4	CL-4	SF-MU	SF-MU	SF-MU	CL-4	CL-4	CI	CL-4
PUD Doc Page Number	27,33-37	27-34,38	27-32,39-40	43-46	43-44, 48-52	43-44,48-52	53-57	58-60	61-62	63
Structure Type	VMU	VMU	VMU	SF Attached	SF Detached	SF Detached	Multi-Family	Corporate Commercial	Corporate Commercial	Corporate Commercial
Minimum Lot Area	UDC	UDC	UDC	UDC	5,550 sf	5,550 sf	UDC	UDC	UDC	UDC
Minimum Lot Width Along arterial and Major Collector Streets	UDC	UDC	UDC	UDC	na	na	UDC	UDC	UDC	UDC
Minimum Lot Depths	UDC	UDC	UDC	UDC	120'	120'	UDC	UDC	UDC	UDC
Minimum front Street Setback (Bldg)	15'	15'	15'	22'	22'	22'	25' Com; 15' res	St. A& B, 40'; 15' all other	UDC	UDC
Maximum Bldg Setback, Note 7	30'	30'	20'	27'	27'	27'	25'-Com 15' All else	St. A& B, 50'; 25' all other	UDC	UDC
Minimum Front Setback; Corner Lot	15'	15'	15'	na	22'	22'	na	UDC	UDC	UDC
Minimum interior side setback	0	0	0	UDC	UDC	UDC	UDC	UDC	UDC	UDC
Streetscape yard landscape , Note 2	15%	15%	15%	80%	30%	30%	Varies	80%	UDC	UDC
Single Family Adjacency Bufferyard	na	na	40'	20'	na	na	na	na	na	na
Maximum Lot Coverage (Structures)	85	85	85	na	na	na	80			
Maximum Impervious Cover; Note 3	85% combined			na	na	na	70% Combined		80% combined	
Maximum Building Height, Note 4, 6	65'	65'	65'	35'	35'	35'	65	60'	UDC	UDC
Minimum Density	20	20	20	na	na	na	28	na	na	na
Max Du/acre, Note 5	45	45	45	10	6	5	45	na	na	na
Notes;										
1 UDC regulation	If a space has UDC means that the code refers to the City's UDC as the controlling regulations.									
2 Streetyard landscape	Space between building and propertyline; Trees and shrubs according to UDC unless otherwise specified in PUD.									
3 Impervious cover	See note #6 page 7 of PUD for detailed description									
4 Building height adj to Residential	In commercial zones, the UDC compatibility standards of additional setbacks do not apply in this PUD.									
5 Density	Density is calculated across the entire gross acreage of the development tract for that use.									
6 Height	Subject to FAA Approval where applicable									
7 MX-2 zone Max Setback	Use with special requirements of security and privacy allowed further setback upon approval of P&Z Commission									



MX Vision

MX Overall

Urban Destination & Activity Center

The New Hotspot in Town

The Pflugerville Parkway frontage is intended to be a destination for a broad spectrum of uses.

Partnerships can bring about a vision targeting a conference hotel or similar type of use, embedded within a destination activity center. Patrons to the site are intended to be conference goers, families, life-style users with retail and personal services offerings, restaurants and nightlife.

Visual and performing arts will have public space dedicated to enhance the public realm. appropriate clustering of uses such as cafes and playscape, music venues outdoors with plazas. grassy zones within a reforested landscape.

A weekend day will be able to have a morning at the lake, lunch at a cafe, with afternoon activities in the new center as trails will be well connected providing easy access throughout the master planned community. Zones MX-3 will offer additional active urban ambiance by providing more cafes and coffee shops along with personal services, neighborhood services and retail opportunities.

Abundant parkland features will be distributed throughout, including kids play areas. The parkland showing in this exhibit is what will be public and private parkland through the preliminary plan. The urban core will feature site plan level elements that will be park-like to provide a welcoming environment for visitors simply there to enjoy the ambiance.

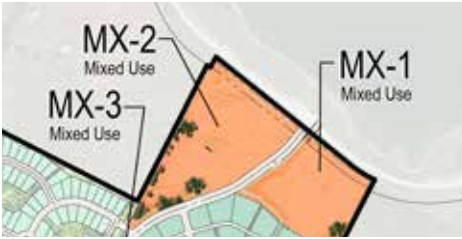


Exhibit G

Sample Architectural Styles; All MX buildings to be a minimum of four stories. Street section and streetscape are not included in the PUD design

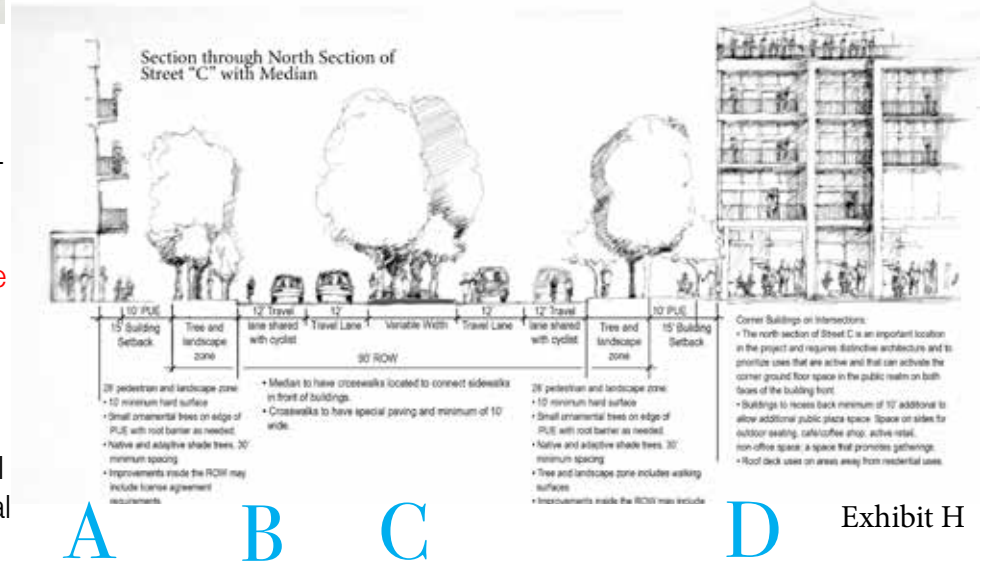


LEVY



MX Vision

This section representing the mixed use zones has components that are applicable throughout the MX-1, MX-2, and ~~the north part of~~ MX-3 zones. This particular criteria looks at the **core of the MX zone with the highest level of activity. The pedestrian zones are enhanced by street trees and landscape between walkways and street edge.** Not all zones are represented but general dimensions can be applied.



A

- 15' Setback with four story buildings having a variety of forward and recessed ground floor frontage.
- 28' Pedestrian and landscape zone.
- 10' minimum hard surface walkways.
- Small ornamental trees on edge of utility zone with root barrier shielding.
- Native and adaptive shade trees spaced minimum of 30' oc.

B

- Streets to have 6" raised curb and gutter as shown in street sections.
- Street section to be comprised of two lanes each side with the outside lane being shared with cyclist.
- **Round-about approach Intersection** zones to have special paving with textured surfaces.
- Entire **round-about and approach** high-traffic pedestrian zones to be a pedestrian dominated **zone** with special paving & traffic calming devices and strategies.

C

- Median in the **round-about approach zone** road section to be a landscape and a pedestrian safe haven zone.
- Pedestrian walkways to be ADA accessible with minimal ramping **for cross-walks**. Either raised to sidewalk level or depressed with curbing for the entire length of the road crossing.
- Walkways to be a minimum of 10' wide with special pavement that matches special pavement in the streets.

D

- Four story corner buildings on intersections, **especially Pflugerville Parkway round-about** to have distinctive architecture and additional **outdoor** space to prioritize active users and uses on the ground floor and above.
- Corner building to either recess back for an expanded plaza on the ground floor or otherwise promote the highest possible activity levels.
- Roof deck uses on buildings to be on the sides away from residential neighborhoods.



MX Vision

Corner Buildings:

Buildings that occupy corners of intersections streets or create spaces between buildings are required to activate both sides of the front facing facades. In the case of a gap between buildings, the intervening space is to be developed as a plaza offset from the street with a water feature, tables and moveable chairs, and trees with high canopies.

These spaces can function as access points to pods of parking or pedestrian entrances to residential floors above. Find areas of sunlight and shade for lawn areas for patrons to sit on the lawn and have lunch or read a book.



LEVY

Exhibit I:

Sample Architectural Styles; All MX buildings to be a minimum of four stories. Street section and streetscape are not included in the PUD design

Places for Kids and Seniors:

Where there is activity such as unplugged music or outdoor cafes, create a children's zone. This may be a playscape, a small trees and lawn area with grassy berms, or water play space. Keep the pedestrian walking zone between the kids area and the street.

The urban core strives to be a family oriented place that also have nightlife and night-time strolling. Kids are an important ingredient that needs spaces they can call their own. Related is the need for seniors to have places to sit and enjoy the days under the shade of trees, watch kids play, and feed the birds. Places where they can walk and feel a more vibrant location than the typical retirement home.



MX Overall

Urban Destination & Activity Center

- DU/acre; 20 minimum; 28-45 maximum; restricted to ~~second, third, and fourth floors~~ floors above first floor.
- Sq Ft; due to the complexity of the mixed use and public components, this data will be deferred to a later point in time.
- Front setback; 15'-30'; See MX-2 section on exceptions
- Back building setback; 25'
- Lot sizes regulated by UDC
- Pedestrian realm; walking surface; decorative concrete, pavers over PUE, standard concrete beyond.
- Landscape; In streetscape, 1 shade tree for every 30'. All other UDC requirements apply at a minimum, unless stated otherwise. See pedestrian zone tree requirements page 8.
- Furnishings; lights, seating, trash receptacles; see below.

Overall MX Zones; Mixed Use Commercial Core:

1. Development tracts shall include mixed use commercial and residential, prioritizing retail, restaurants, entertainment. Targeted uses could include a conference hotel or similar major anchor of high activity. For MX-2 exceptions, see MX-2 zoning section
2. A Property Owners Association will maintain all of the private development side as well as any license agreement areas.
3. Development style shall be four story minimum, liner buildings (Buildings that are either continuous or stand alone but positioned on street fronts to shield parking or other activities behind the building) with 15' setback with certain exceptions including Exhibit F, Table of General Regulations and Height Standards. No surface parking in the front of buildings unless provisions made in the street ROW. For MX-2 exceptions, see MX-2 zoning section
4. Circulation patterns will approximate the exhibit shown on page 12.
5. All parking for MX zones will be contained within parking structures or small pod parking lots of no more than 50 cars behind buildings away from view from the street. Parking and circulation in the MX zones will follow UDC subchapter 9, 9.7 for structured parking and subchapter 10 for all other requirements except as noted below:
 - a. Quantity of parking spaces must follow City UDC for the uses they serve.
 - b. Parking will be completely shielded from public view with exception of entry points, and commercial building gaps no more than 30' wide and gaps heavily screened with landscape. If gaps occur then they must include parking access walkways or be walled off and landscaped. For MX-2 exceptions, see MX-2 zoning section
 - c. Larger building gaps up to 60' wide are allowable if the gap is accommodating a pocket park with activity, children's play area, music or similar venue, or other special feature, with heavy landscape screening, upon review and approval by planning director at the site plan review level. For MX-2 exceptions, see MX-2 zoning section
 - d. In larger building projects, parking pods can be larger if:

- i. The building surrounds the majority of the pod.
 - ii. Parking counts meet UDC.
 - iii. Walls greater than 30' up to 60' shall have an enhanced landscape with complete screening of the wall and include minimum of four park benches.
 - iv. Walls no closer than 25' from property line.
 - v. In certain specific cases for MX-2 exceptions, see MX-2 zoning section
- e. Larger public parking facilities to be developed that serve both urban core and the lake patrons. If designed to accommodate lake patrons, then the City of Pflugerville will participate in funding support.
- f. Urban parking structures will only have a ground floor presence with entry and exit points. Upper garage floors will have limited street exposure to be determined by ventilation requirements and planning director approval.
- g. Parking pods will not have concrete access driveways crossing pedestrian areas but decorative paving matching the pedestrian zones and kept at level with the sidewalk.
- h. Sidewalk placement will be shown on the regulating street sections, pages 14-15 including the notes regarding alternative design within the urban core (MX zones)
- i. Hike and bike trail provisions will approximate the Parkland/ Open Space Exhibit on page 18
- 6. Office uses on the ground floor to be limited to 20% of ground floor space and no more than two office uses to be side by side, or more than combined 50 feet of frontage. Offices such as a bank may occupy a corner if the front façade is setback an additional 10' and a public plaza with tables, chairs, water, and other amenities are developed.
- 7. Ground floors of buildings will have 12 feet ceilings and 70% wall transparency minimum. No more than 25 feet of blank wall space.
- 8. Major anchoring development of 40,000 sf or more shall include significant amenity (public gathering space) to accommodate small events of music or festivals with associated features of public restrooms and amphitheater or stage component.
- 9. Significant public amenity requirements shall include a minimum of two event spaces in the development:
 - a. Accommodating up to 300 persons for an event.
 - b. ~~May be associated with and/or as a partnership with City's Pflugerville Lake Park.~~
 - c. At a minimum, one to be interior to the urban core with direct visual and pedestrian linkage to the Pflugerville Parkway round-about intersection to main pedestrian parkway.
 - d. Prioritize direct linkage to linear parkland in RV-1 zone.
 - e. Event spaces shall have a combination of the following;
 - i. Outdoor seating cafes/coffee shops with moveable chairs
 - ii. Shade trees over at least 70% using 60' diameter canopy coverage at maturity
 - iii. Children's play area including grassy hills
 - iv. Live music performance infrastructure and opportunity
 - f. Event space shall have at least two of the following:
 - i. Water fountains for visual and sound or water play for kids
 - ii. Food Truck Infrastructure
 - iii. Public art
 - iv. A confluence of multiple pathways including connectivity to parks.
 - g. Amenity requirements of UDC 9.3.6 can be satisfied by the provisions of # 9 above but lesser scale amenities may be required to satisfy the complete requirement of UDC 9.3.6 by calculation. The following shall also apply:
 - i. A running total of overall residential properties in the MX zones will be the accounting for the UDC 9.3.6 requirements. Regardless of one or more developers, ameni-

ties in this UDC section shall be added according to the ratios of cumulative residential units listed here:

1. 1-50 residential units= one qualifying amenity
2. Up to 100 residential units = two qualifying amenities
3. Up to 150 residential units = three qualifying amenities
4. Up to 200 residential units = four qualifying amenities
5. Up to 250 residential units = five qualifying amenities

10. Architectural Standards: Architectural standards in the UDC Subchapter 9 will be the regulating standards with the exception to the following new standards;

a. All MX zone buildings will be **4 stories** and have as minimums, the ground floor height at 12' ht., and upper floors at 10' ht. **For MX-2 exceptions, see MX-2 zoning section**

b. Overall maximum height to be 65'

c. Building Entrance Standard (UDC 9.4.3.E)

i. Commercial buildings shall have outdoor plazas, courtyards, or other pedestrian spaces at or near their main entrance.

1. Minimum size of pedestrian space shall be 2 square feet of space per 100 square feet of building ground floor area or a minimum of 100 square feet; whichever is greater.

2. All pedestrian spaces will have at least 1 bench for every 20' of building frontage; congregating benches together is allowable as long as no more than 60' of space without benches.

3. All pedestrian spaces shall incorporate at least four of the following;

a. Decorative landscape planters or wing walls that incorporate landscape areas including additional trees.

b. Pedestrian scale lighting, bollard, or other accent lighting.

c. Special paving such as colored/stained and sealed concrete, stamped concrete, stone, brick or other unit pavers.

d. Public art will be installed in the public space with the development of each building or multiple buildings in a single site plan application.

The value of the public art will be the following:

i. Art with a valuation of at least 5% for buildings less than \$200,000 in total construction cost.

ii. Art costing \$12,000-\$15,000 for buildings between \$200,001-\$1 million.

iii. 1.5% for buildings or collection of buildings under one site permit with cost above \$1 million.

iv. Construction costs on a project over \$200,000 may split the required investment in art over more than one work of art.

v. Multiple simultaneous (six month max spacing between initial applications) site permit projects may combine the contribution through a transfer of art contribution (TAC) calculation on the site permit.

e. Additional seating such as benches, tables, moveable chairs, or low seating walls.

f. Water features or fountains.

g. Shade structures

h. Trash receptacles:

- i. In general, one trash receptacle shall be placed every 80' of linear frontage and clustered with light standards and/or seating areas.
- ii. For every 20' of food service establishment, add one additional trash receptacle above the base requirement.
- iii. At the entry points into the urban core, position one receptacle that can be part of the base calculation or one additional by averaging up. Entry points include crosswalks from connecting parks and trails, entry points into parking lots or structured parking garages, or Pflugerville Lake entry points.
- iv. Trash receptacles to be mounted on hard surfaces to allow servicing.

ii. In addition to the above, larger building projects will include the following:

- 1. A site permit with a single building or attached buildings of 20,000 sf-30,000 sf ground floor space will provide 2 benches or 8 moveable chairs with two tables and one trash receptacle for every 400 sf or increment of pedestrian zone within the permit area.
- 2. A site permit with a single building or attached buildings of >30,000 sf- <40,000 sf ground floor space will provide 2 benches or 8 moveable chairs with two tables and one trash receptacle for every 400 sf or increment of pedestrian zone within permit and one children's play area situated within a landscape of lawn and trees 4 times the area of the children's play area.

iii. Other amenity approved by Planning Director.

d. **Fire Protection: All buildings will be sprinkled for fire protection. At the time of site development permitting, the building(s) will go under further review for additional fire protection measures.**

11. Roof Decks on buildings in the MX zones:

- a. may be utilized for commercial, private or public uses as long as they don't overlook RV-1, RV-2 residential neighborhoods on opposite side of the street.
- b. Setbacks from residential facing edges may be approved by Planning Director.
- c. Elevator access to all floors with residential floors being access by key locks.

12. Private Parkland Amenity within the MX Zones: The MX zones are a special place requiring special amenities. This PUD lays out a strategy for Urban Parkland Corridors (see definitions) to have a mechanism in place so that enhancements to the urban core can, in part, be financially supported with the parkland development fees calculated and collected from the development process of this PUD and to ensure that a higher level of investment is made possible for a more vibrant destination and so that the fees are not dispersed to lands and projects outside of this PUD.

- a. Reference UDC 14.5.4 Construction of Private Amenities in Private parks: In accordance with the Parks Development Manual, as amended, privately owned and maintained parks with non-exclusive private amenities may receive up to one hundred % credit towards fulfilling the requirements of the Parks Development Fee, upon approval by the Parks and Recreation Director.
- b. Developer of MX Tracts can provide significant amenity within frontage or larger plaza areas adjacent to site development in exchange for defraying parkland development fees, If the location is associated with an Urban Parkland Corridor (see definitions). If the developer is separate from the Master Developer then fees from the parkland development fees can be used to assist the developer in the cost of the development.

- c. Parkland development fees to be held in an account for use within the proposed parkland, immediately adjacent parkland fronting Lake Pflugerville, and within the urban core associated with the Urban Parkland Corridors. Proposal for a significant amenity associated with an Urban Parkland Corridor, and the related parkland development fee allocation to be established at site plan stage.
- d. Within the Urban Parkland Corridors, the parkland development fee can also be applied to:
 - i. Themed comprehensive wayfinding package that orients patrons to the district to the parkland and amenity features including map signs and street signs.
 - ii. Themed pedestrian lighting coordinated with wayfinding, throughout the corridors.
 - iii. Enhanced street tree plantings (see enhanced tree planting in definitions) with full soil volume and soil compaction mitigation above and beyond City standard details.
- e. Requirement for establishing an Urban Parkland Corridor: The Parkland/Open Space Exhibit D on page 17 illustrates the conceptual layout of the public hike and bike trails for the PUD. They connect to the MX zones in three places; one in RV-3 zone and two in the RV-1 zone. The developer that initiates a site plan for the MX property located across from these trail endings will continue the alignment through the proposed MX zone development. This alignment will be developed as the Urban Parkland Corridor and will run the length/depth of the proposed site plan in the direction of Lake Pflugerville and toward any significant amenity already in planning or development.

13. A well landscaped setting will be a goal of the project overall and special attention in the MX zones will be to have seasonal shade cover at levels appropriate for the building orientation. At a minimum, all landscape requirements will follow UDC Subchapter 11 with the following exceptions:

~~14. A well landscaped setting will be a goal of the project overall and special attention in the MX zones will be to have seasonal shade cover at levels appropriate for the building orientation. At a minimum, all landscape requirements will follow UDC Subchapter 11 with the following exceptions:~~

- a. Trees:
 - i. All streets will have street trees planted in the street tree and landscape zone where not in conflict with standard street PUE or utilities and sidewalks.
 - ii. Trees spaced minimum of 4' from back of curb.
 - iii. See tree section in the Overall PUD section of this document.
 - iv. West sun exposed pedestrian corridors to have shade trees spaced 30' apart along the western edge of the paseo.
 - v. For all street-front trees in the urban core, align the shade tree plantings with an uncompacted strip, minimum of 4' wide along the street offset by 4' from back of curb. A 10' walkway may cross this zone in appropriate locations such as lining up with a crosswalk.
 - vi. If less area is to be allocated for shade tree planter then the uncompacted soil may use structural methods for supporting pedestrian ways without compaction.
 - vii. Trees minimum of 10' from building face
 - viii. Streetscape shade trees planted in landscape space with minimum width of 6' unless root barrier or floating pavement systems employed per manufacturer recommendation
 - ix. Streetscape trees to be 80% shade trees and 20% ornamental trees
 - x. Streetscape shade trees space every 30'; ornamental trees minimum of 10', maximum of 20' spacing
 - xi. Select trees/ species with branching patterns that are elevated or trimmed to avoid pedestrian conflicts
 - xii. Deeper pedestrian plazas provide shade or ornamental tree per every 500 sf in

addition to streetscape trees

b. Additional Landscape:

- i. The space between back of curb and building face is the streetyard. Landscape plantings will be a minimum of 20% of the streetyard.
 - ii. Corner buildings have streetyard wrapping the building frontage with ramps and walks excluded from the 20% landscape plantings calculation.
 - iii. A combination of landscape plantings including raised planters and decorative paving. Decorative paving not to exceed 5% within the 20%.
 - iv. Raised planters that isolate outdoor seating (café or coffee shop) counts double in square footage of area
 - v. Maximum decorative walk coverage between curb and face of building to be 80%
 - vi. Buildings face setback further than 15' from face of curb require 80% landscape not inclusive of sidewalk area
 - vii. Non decorative surface walks not included in landscape area
 - viii. Raised vegetated ornamental planters count toward landscape area
 - ix. Landscaping other than trees not to exceed 3' in height along pedestrian paths
 - x. Lawn or turf grass not allowed in between building front and back of public street curb
 - xi. Large expanses of mulch without expectation of being covered by plants at maturity is not allowed. At maturity, mulch exposure to be maximum of 20%
 - xii. All tree and landscape beds to be covered with plants. Lawn can be used when on back sides of building or non-public fronting building face. No bare or mulched tree pits or landscape areas. For dimensionally restrictive areas or high pedestrian use areas, tree grates allowable
 - xiii. The remaining lot, excluding the building frontage and structured parking, pervious cover areas shall have a minimum of 10% landscaping coverage.
 - xiv. The back of lots with an adjacent less intense use intensive screening with shade trees and large shrubs. Refer to Exhibit L on page 42.
 - xv. Shade trees on streetscape to be 4" caliper and regular shape according to species. Shade trees elsewhere to be 3" caliper
 - xvi. Other than the building frontage; for every 100 square feet of landscape planting area there shall be 1 tree and 6 shrubs.
- c. All landscape and trees to have irrigation following City UDC requirements with the exception of using reuse water where allowable by development agreement.
- d. Implementation: Street trees to be installed by the developer of the building on the same lot. Developer responsible for the coordination of tree wells or landscape beds, irrigation, license agreements for street trees in the ROW and other landscape places applicable.

15. Where neighborhood trails or walks, district-wide or city-wide trails or walks about the property lines, pedestrian walkways will be constructed to connect. If none exist due to developing prior to adjacent tracts, then the preliminary plan or other city documents will be consulted to align with future planned pathways.



MX-1 + MX-2

Mixed Use Commercial

Site Character:

Intersection of Pflugerville Parkway in the heart of the urban core shall be incentivized to be attract street cafes and coffee shops to promote as much action as possible in the streets. Business hours shall work from a 16 hour day of operation to bridge activity into nightlife.

Linear parkland and other pathways established at site planning stage should direct pedestrians and motorists to this specific location.

Zone MX-1 + MX-2:

Buildings that occupy corners of intersections streets or create spaces between buildings are required to activate both sides of the front facing facades. In the case of a gap between buildings, the intervening space is to be developed as a plaza offset from the street with a water feature, tables and moveable chairs, and trees with high canopies.

1. First floor of MX-1, MX-2 buildings:

- a. First floor shall be all commercial with office not occupying more than 20% of any face of the building opening to the public realm.
- b. First floor of corner buildings shall have:
 - i. Pedestrian areas of congregated seating on the sides with shade trees.
 - ii. Both corner faces of the building active with same glazing percentage requirements and either a corner entry point or entry points on either side.
 - iii. Four square feet per 100 square feet of building first floor area (or equivalent ratio of two square feet/100 sf on single face commercial use)
 - iv. No office uses for 100' of the building corner.
- c. First floor of corner buildings at the intersection of Pflugerville Parkway and Street **G D or E** will have the following allowable uses:
 - i. Restaurants, cafes, coffee shops and other sit down food service uses inclusive of alcohol serving establishments
 - ii. Retail stores or access points to retail malls conditioned on active building faces toward street.
 - iii. Access points for internal courts providing access to food, beverage, and retail; access portal to be minimum of 25' wide and recessed back from front building line. **For MX-2 exceptions, see MX-2 zoning section**

2. Floors above first floor to be residential, with following exceptions and conditions:

- a. In special conditions according to specific architecture, upper floor uses may be commercial in full or part. The determination will be addressed with the Planning Director at the site plan stage.
- b. Allowable uses shall include senior independent living (private commercial use) as an independent

dent seniors facility; seniors to be ambulatory, hotel, or other active uses.

3. Round-about street Pedestrian Intersection zones:

- a. The pedestrian intersection zones with streets and drives will have the following characteristics: round about and the approaching streets, to the extent of the medians, will be similar to the existing round about in Pflugerville and will have:
 - i. Special paving that is rougher in texture and maybe treated for color contrast.
 - ii. Once in this zone, the elevation of the street raises up approximately 4 inches leaving approximately 2" additional for the curb face with appropriate ADA accommodations. The inner edge will have a 4" mountable curb.
 - iii. The materials for the pedestrian zone and the street intersection zones will match although patterning and roughness may differentiate between pathways and intersections. Patterning and design will be decided at site plan stage. Pavement patterning and intersection crossings that are set by the first permit in a MX zone establishes the pattern for the remaining pedestrian pavements in the remaining MX zones.
 - iv. Large concrete or other material bollards with internal down-facing lighting will line the edges of the round-about street intersections.
 - v. Crosswalks will be differentiated according to requirements of TxDOT and TDLR (TAS) and will stay at equal elevations with the exception of the 2" difference between curb and street, described in ii above.
 - vi. The round-about circle street intersection corners, and medians will have a simple landscape of grass ground cover and trees with the optional addition of public art and/or water feature, with special accent lighting. Visually open for a line of sight across for both safety and to see activity on all sides.
 - vii. The intersection of Balaton and Pflugerville Parkway will have one major pedestrian crossing at grade. The crossing will be a minimum of 120' wide with the outer 5' paved with rough textured pavement; ie cobble, coarse pave stone, other equivalent coarseness. The outer most edge will have flashing lights embedded in the pavement as well as overhead lights triggered by pedestrians as part of the signalization. Inside these two edges are pedestrian friendly special pavement for crossing over to the park.



LEVY

Sample Architectural Styles; All MX buildings to be a minimum of four stories. Street section and streetscape are not included in the PUD design



MX-1

Mixed Use Commercial

- DU/acre; 20 du/ac minimum, 28 45 du/ac Maximum
- Max Height 65'
- 4 Stories minimum + Roof deck
- Front Setback; 15' min
- Back Setback; 25'
- Lot sizes regulated by UDC
- Pedestrian Realm; Determined at site plan stage
- Walking Surface; Decorative concrete or stone
- Landscape & site furnishings; See descriptions in the Overall MX section

Site Character:

- Potential for a conference hotel, civic destination, entertainment; families, kids, and adults
- Public Amenities; scaled for events & festivals in select locations. Small outdoor entertainment, children's play
- Water fountains
- Ample public space
- Pedestrian connections to lake and city-wide trails

Zone MX-1:

1. First floor all commercial with office not occupying more than 20% of any face of the building opening to the public realm.
2. Second, third, and fourth floors to be residential or commercial residential and related space.
 - a. In special conditions according to specific architecture, upper floor uses may be commercial in full or part. The determination will be addressed with the Planning Director at the site plan stage.
3. Roof decks shall be:
 - a. Private use only for the residents of the building below. Uses can be leisurely space or for privately held events.
 - b. Commercial space for use of a business to operate as a commercial venture including a food and drinks venue or unplugged music. Access for the commercial roof deck would be by elevator with keyed access to the residential floors.

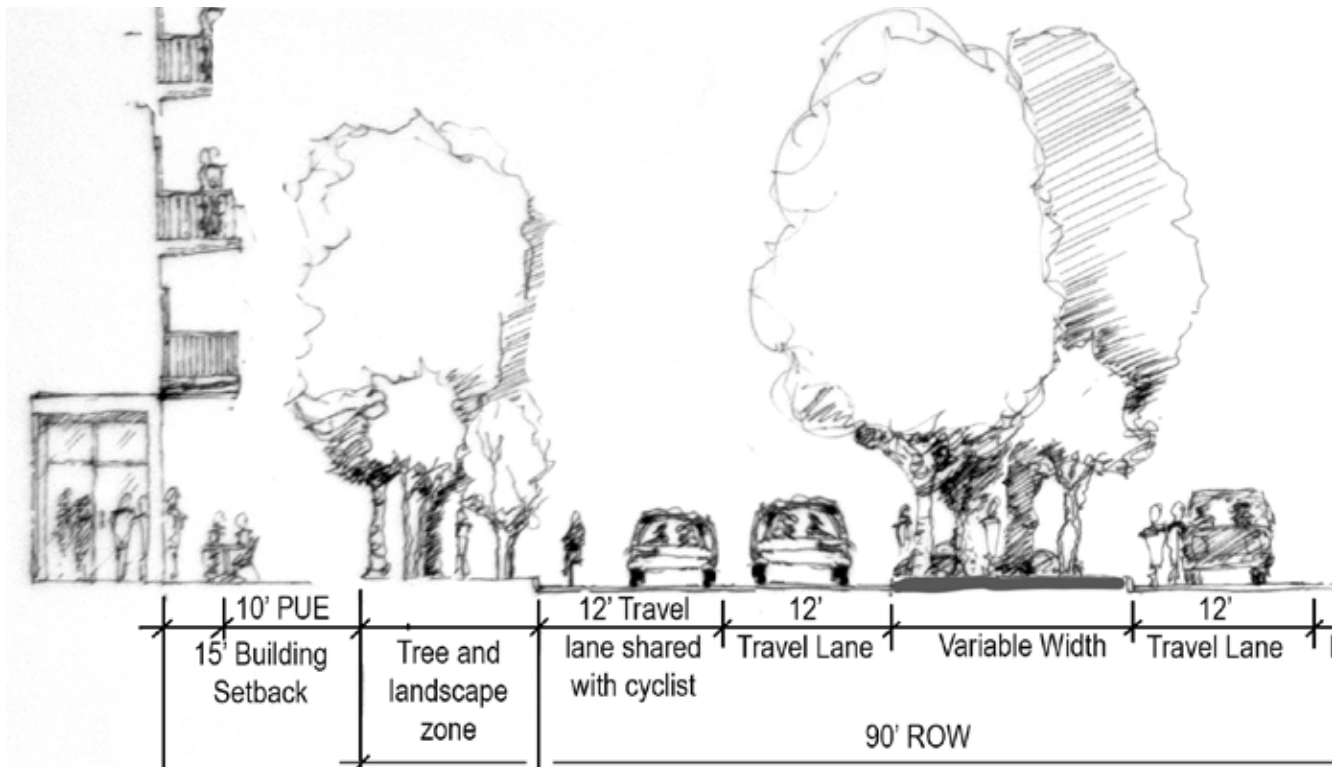


MX-1

Mixed Use Commercial

Site Character:

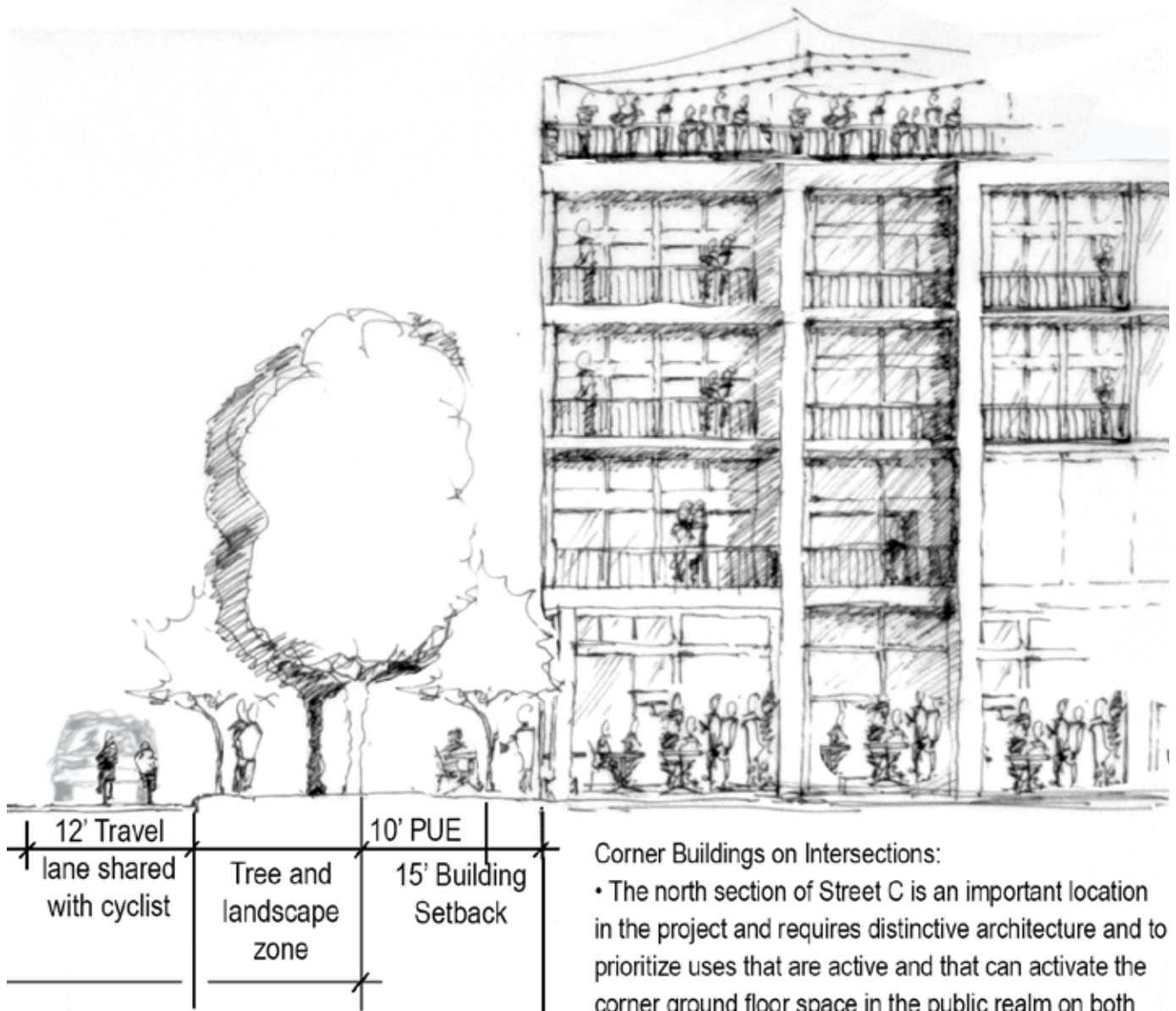
Intersection of Pflugerville Parkway illustrated by the section below as shows a view looking toward the round-about shows with street activity and landscape. The space between back of curb and the 10' PUE is a tree and landscape zone where large shade trees can be planted and have plenty of space for a broad canopy. Tree section in the Overall PUD describes the planting requirements and the definitions has enhanced tree planting described as well. Medians are constructed in the right of way round-about approached to give pedestrians safe haven for street crossings.



- 28' pedestrian and landscape zone:
- 10' minimum hard surface
 - Small ornamental trees on edge of PUE with root barrier as needed.
 - Native and adaptive shade trees, 30' minimum spacing
 - Improvements inside the ROW may include license agreement requirements

- Median to have crosswalks located to connect sidewalks in front of buildings.
- Crosswalks to have special paving and minimum of 10' wide.

Exhibit J



Corner Buildings on Intersections:

- The north section of Street C is an important location in the project and requires distinctive architecture and to prioritize uses that are active and that can activate the corner ground floor space in the public realm on both faces of the building front.
- Buildings to recess back minimum of 10' additional to allow additional public plaza space. Space on sides for outdoor seating, cafe/coffee shop, active retail, non-office space; a space that promotes gatherings.
- Roof deck uses on areas away from residential uses.

28' pedestrian and landscape zone:

- 10' minimum hard surface
- Small ornamental trees on edge of PUE with root barrier as needed.
- Native and adaptive shade trees, 30' minimum spacing
- Tree and landscape zone includes walking surfaces
- Improvements inside the ROW may include license agreement requirements

Exhibit J Continued



MX-2

Mixed Use Commercial

- DU/acre; 20 du/ac minimum, 45 28 du/ac Maximum
- Max height 65'
- 1,2,3,4 Stories -with approval of planning director minimum + rooftops
- Front Setback; 15' min.
- Back Setback; 25'
- Lot sizes regulated by UDC
- Pedestrian Realm; Determined at site plan stage
- Walking Surface; Decorative concrete or stone
- Landscape & site furnishings; See descriptions in the Overall MX section and the section on MX-1, MX-2, ~~MX-3N~~ that describe special conditions for the Pflugerville Parkway intersection and corner buildings.

Site Character:

- Entertainment; Mixed use commercial-destination; families and adults
- Public Amenities; scaled for events & festivals in conjunction with MX-1. Transition from highest level of activity and compatible with adjacent neighborhoods
- Water Fountains
- Ample Public Space
- Pedestrian Connections to -Lake, Tract B, Tract C

Zone MX-2: Mixed Use Commercial Core:

1. ~~In the case of a specific special use of Continual Care Residential Community (CCRC; see definition W), variations from the ordinances herein and in the UDC, may be applied for through an administrative process on approval by the Planning Director. Assisted Living/CCRC land use may pursue an architectural waiver to the Planning & Zoning Commission as an administrative process; to address alternative design considerations.~~
2. First floor all commercial with office not occupying more than 20% of any face of the building opening to the public realm.
3. Floors above first floor to be residential, with the exceptions as noted in Section: MX-1,2,3 north, #2, and as stated below. In special conditions according to specific architecture, upper floor uses may be commercial in full or part. The determination will be addressed with the Planning Director at the site plan stage.
4. Roof decks shall be:
 - a. Private use only for the residents of the building below. Uses can be leisurely space or for privately held events.
 - b. Commercial space for use of a business to operate as a commercial venture including a food and drinks venue or unplugged music. Access for the commercial roof deck would be by elevator with keyed access to the residential floors.
 - c. Building faces oriented toward RV-3 shall have a 15' setback for all rooftop activity zones.
5. Compatibility Requirement:
 - a. The west line of the MX-2 zone has the existing LCRA easement and powerlines.
 - b. The development of MX-2 zone; at the time of development, will plant tall and fast growing shade trees along the east edge of the LCRA easement for the purposes of shielding views from the MX-2 development as well as shielding views from the adjacent property toward the MX-2 development



MX-3

Mixed Use Commercial

- 20 du/ac minimum, 28 45 du/ac maximum
- Max height 65'
- 4 Stories minimum + rooftops
- Front Setback; 15' min.
- Back Setback; 25'
- Lot sizes regulated by UDC
- Pedestrian Realm; Determined at site plan stage
- Walking Surface; Decorative concrete or stone
- Landscape & site furnishings; See descriptions in the Overall MX section

Site Character:

- See #2 below for the hybrid nature of MX-3 servicing both the tourism and activity center aspects of the north end while servicing the neighborhoods with the lower development.

Zone MX-3; Mixed Use Commercial Core:

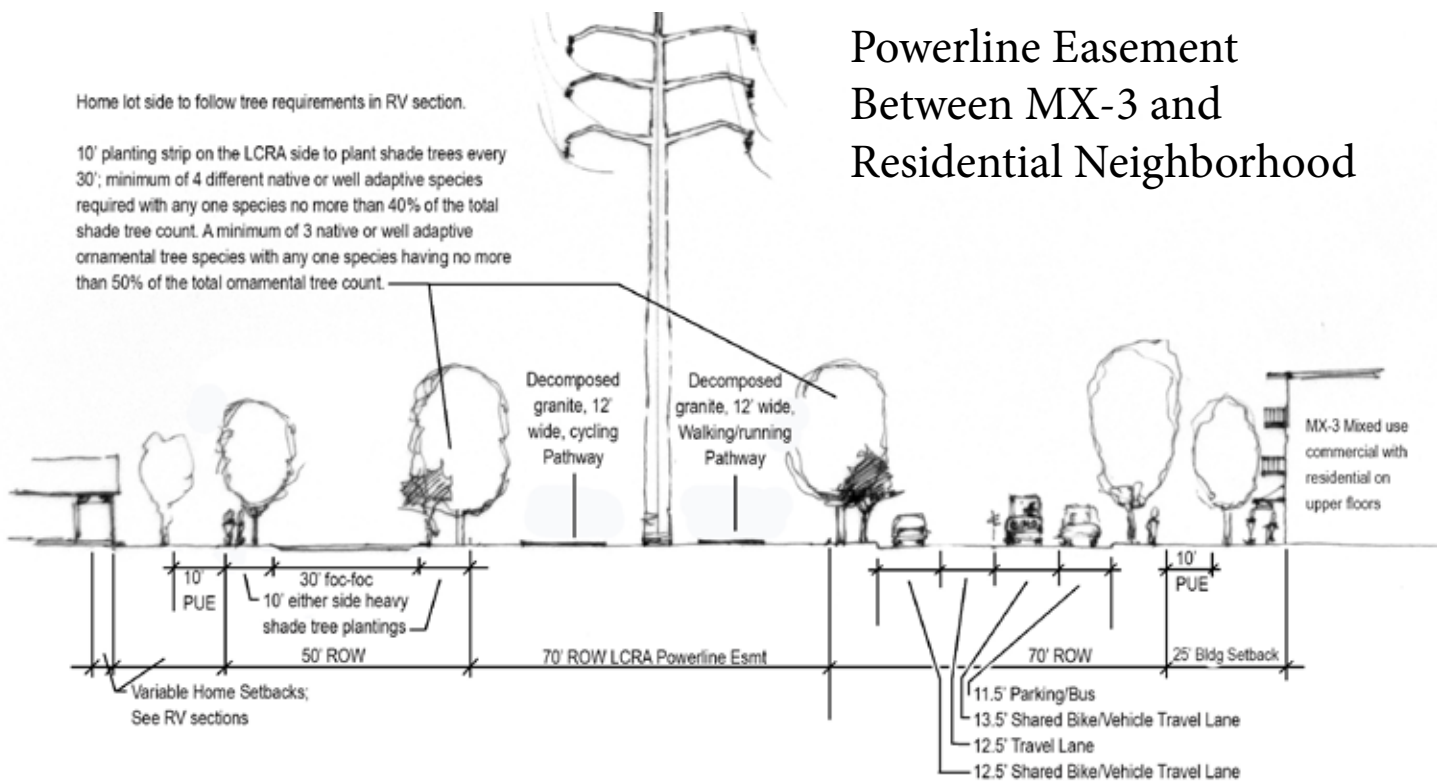
1. MX-3 mixed use buildings are ~~3-~~ minimum of 4 floors and will be the entire frontage along street "Type C" and Pflugerville Parkway with exception of:
 - a. Parking, service and panel delivery trucks, and EMS entry points.
 - b. Distinctive architectural change.
 - c. Potential larger plaza space associated with the round-about intersection.
2. In addition to the targeted uses in the overall MX land uses, this zone will emphasize two styles of development:
 - a. The MX-3 zone following Street Type "C" will emphasize neighborhood services, coffee shops, and restaurants to cater to the adjacent residential uses.
 - b. ~~The MX-3 zone that resides between Pflugerville Parkway and the local road servicing RV-1 will require creative design which may consist of a family of smaller buildings approximating a village like characteristic and highly porous for pedestrians crossing from RV-1 into the MX-3 zone. Note that the parking for this segment of MX-3 will be street parking on the local road (50' ROW) and the inclusion of 20 car maximum pod parking lots with appropriate screening and building cover.~~
3. First floor all commercial with office not occupying more than 20% of any face of the building opening to the public realm.
4. Floors above the first floor ~~Second, third, and fourth floors~~ to be residential.
 - a. In special conditions according to specific architecture, upper floor uses may be commercial in full or part. The determination will be addressed with the Planning Director at the site plan stage.
5. Roof decks shall be:
 - a. Private use for the residents of the building below. Uses can be leisurely space or for privately held events.

- b. Commercial space for use of a business to operate as a commercial venture including a food and drinks venue or unplugged music. Access for the commercial roof deck would be by elevator with keyed access to the residential floors.
 - c. Roof decks will have a 20' setback from the building edge on the side that faces the RV-1 or RV-2 residential.
6. Building front face to have more of a neighborhood feel with awnings or shade structures scaled to the pedestrian.
 7. Parking for the MX-3 zone ~~following Type "C" street~~ will have:
 - a. Street edge parking as well as double bay parking along the back side of the store fronts. The space on the back side of buildings allocated for parking will be 125' in depth allowing two bays of parking.
 - b. Entry points for the parking pods shall be no greater than 400' apart spaced to allow emergency vehicles to enter the back sides.
 - c. Secured parking with electronic access for residents will also be positioned on the back-sides of store fronts. These can be pockets in-line with buildings as long as the front building face has adequate depth for a viable shop. (See sketch).
 - d. Residents will have elevator access associated with the secured parking pods.
 - e. Shade trees will be planted in the middle of the parking areas with a planting surface area of at least 650 square feet (slightly less than 4 parking stalls together). Landscape surface area of tree beds must be landscaped with plant material, lawn at a minimum and not just mulch.
 - f. The building surfaces facing west will be a heat trap and shade trees will be required on either side of building or street access points.
 - g. All other parking lot tree requirements from the UDC apply.
 8. Loading requirements for commercial users will use the back sides of buildings shared with parking pods. Parking and loading spaces will be separated by a landscape screen consisting of shrubs and trees following UDC guidelines.
 9. Along the shared property lines on the back side of the commercial, a solid 6' masonry wall will be constructed where the property line is shared with a residential use.
 10. The MX-3 zone following Street Type "C" will have a 40' landscape buffer along the backside of the lot to mitigate sound and light to the adjacent neighborhood. Landscape shall consist of shrubs and shade trees planted in triangular fashion 30' oc.
 11. Where neighborhood trails, district-wide, or city-wide trails abut the property lines, pedestrian walkways will be constructed to connect. If none exist due to developing prior to adjacent tracts, then the preliminary plan or other city documents will be consulted to align with future planned pathways.
 12. Phasing for the 2.7 acre tract and the 6.1 acre tract to be phased ~~for~~ over the next 5-7 years.



MX-3

Mixed Use Commercial



Powerline Easement Between MX-3 and Residential Neighborhood

Exhibit K



MX-3

Mixed Use Commercial

MX-3 Mixed Use Commercial

Plan view from commercial building fronts to back of residential neighborhood

Commercial mixed use buildings ground floor commercial and two floors of residential above with awnings showing in a pedestrian oriented streetscape.

Small protected parking for residence on ground floor with short commercial rental space in front.

Corridor connecting parking to active streetscape.

40' wide single family residence lots with housing envelope

Approximately 700 sf of shade tree planter with select landscape fill uncompacted.

3' sidewalk connecting parking bays

Two bays of parking matching City's dimension criteria.

40' wide shade tree and landscape buffer with 8' solid privacy fence along property line.

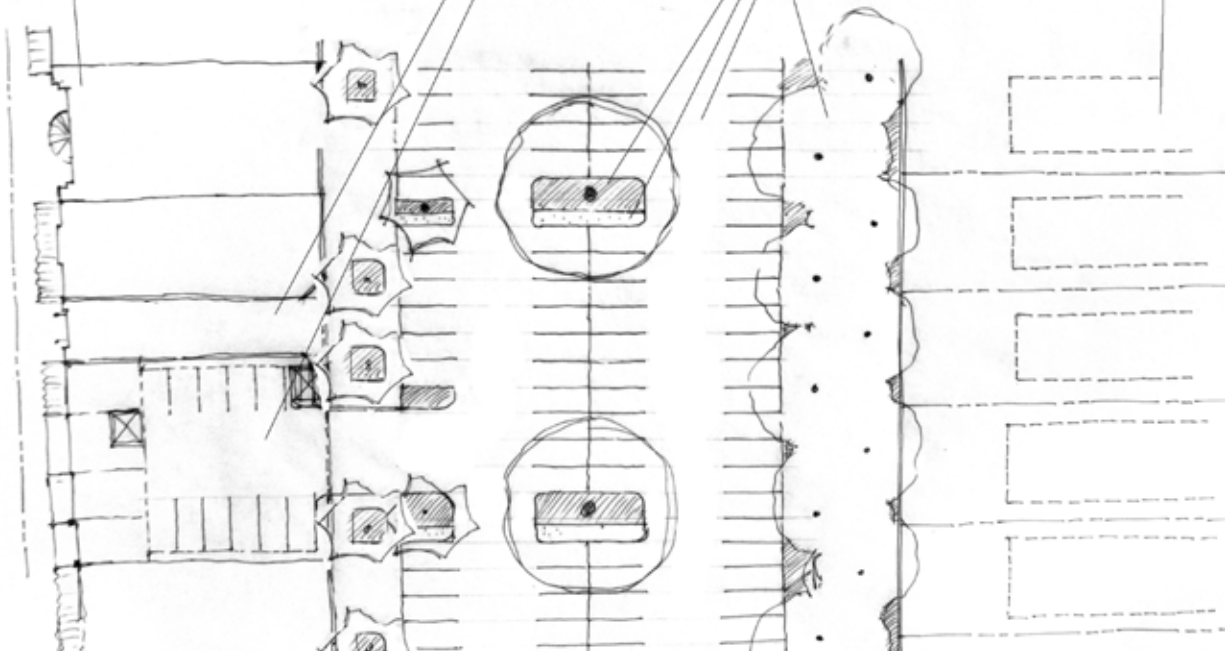
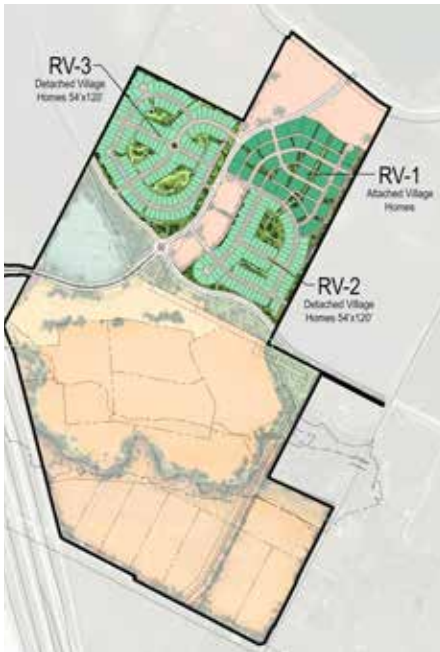


Exhibit L



RV-Overall

Residential Village Homes

Front Setback: staggered 22'-27'

Back Setback: See following RV sections

Lot sizes: See following RV sections

Pedestrian Realm;

- Walking surface/ trail type; concrete walks throughout neighborhood, public trails 10' concrete; private trails; options of concrete or DG or hybrid.
- Landscape; Priority shading on sidewalks and streetscape, tree plantings above base UDC criteria.

Overall RV Zones; Residential Village:

1. The Residential Village (RV) homes are comprised of three different tracts:
 - a. RV-1; Attached single family residential.
 - b. RV-2; 54' wide lots of detached single family lots.
 - c. RV-3; 54' wide lots of detached single family lots.
2. All residential units will face a public street and no primary entrance will face an alley.
3. UDC landscape ordinances in Subchapter 11 will be the regulating document with the exceptions listed ~~below in #8 below.~~
 - a. ~~Criteria listed for the street tree plantings and diversity listed for RV-2 and RV-3.~~
 - b. ~~Criteria listed for the street tree plantings and diversity listed for RV-1~~
4. UDC Tree preservation ordinances in Subchapter 12 will be the regulating document. An additional requirement will be to submit with the subdivision process a tree diversity calculation that will constitute a beginning tree species list for future plantings in the streetscape.
5. UDC Irrigation design:
 - a. ~~Will include all trees within the public ROW.~~
 - b. According to a separate agreement; Where indicated, reuse water will be used in trees and landscape along public trails and ROW.
6. See Regulating Street Sections for the location of utilities and sidewalks.
7. Streets will be marked as shared for vehicles and cyclist unless City Transportation warrants that within the regulating street sections, a separate cycling lane can be striped.
8. Landscape:
 - a. ~~Criteria listed for the street tree plantings and diversity listed for RV-2 and RV-3 in those sections.~~
 - b. ~~Criteria listed for the street tree plantings and diversity listed for RV-1 in that section~~
 - c. Tree diversity calculation will follow the criteria described in the Overall PUD; ~~Development Area Standards; page 8, #11 Trees, d.e.f. -section of this document under trees~~
 - d. For the purposes of tree diversity, The diversity of species will be calculated over the entire phase of the homes being developed ~~by one developer~~; not overall RV zone unless developer is one and the same and all three phases are being developed at the same time

~~(subdivision/site plan submittals with 6 months of submittal separation).~~ (RV-1,2,3 considered separately).

- e. For ~~trees closest to the street~~ ~~street trees (planted in the ROW)~~ and for an aesthetic appeal, like species will be clustered together on both sides of the street in grouping of a minimum of 3 trees and maximum of 8 trees creating zones of seasonal effects moving through a neighborhood corridor.
- f. See Exhibit P for tree placement. Trees to be installed by home builder at the appropriate time in construction. 3" caliper minimum measured 12" off surface of rootball.
- g. ~~Trees to be spaced appropriately according to vulnerable utilities.~~

9. **Pedestrian walks and trails.**

- a. Where neighborhood trails, district-wide, or city-wide trails about the property lines, pedestrian walkways will be constructed to connect. If none exist due to developing prior to adjacent tracts, then the PUD, preliminary plan or other city documents will be consulted to align with future planned pathways.
- b. ~~Trails within private parkland to be developed with Parkland Development Fees, applied for by the residential HOA at the time of the homes surrounding the parks are being constructed~~
- c. ~~Private Parks and trails within, to be maintained by the Home Owners Association.~~

10. ~~Private Parks and Right of way street trees;~~

- a. ~~Where street trees are planted in the ROW, a license agreement will be in place for the maintenance of the plantings.~~
- b. All private parkland and private trails section will be maintained by the HOA.
- c. ~~Residential HOA will be responsible for applying for the Parkland Development Fees for funding improvements in the private parkland places including the required trails~~



RV-1

Attached Village Homes

This housing is positioned in the development to be a transition between the urban spaces and the quieter residential neighborhoods. The attached units are to be **three story height and massing with two stories of living space**, urban walk-up style house with the primary entrances facing the main street. All units are backed by an **detached attached** garage serviced by an alley.

RV-1; Attached Single Family Residential Units:

1. This development tract is for the development of a single family attached model.
 - a. The look and feel will be that of urban Walk-up residential attached housing.
 - b. The unit number will range between four, six, and eight units per building.
 - c. Units are **three two story. On fee simple lots. Building will have three story height and massing with two stories of living space.**
 - d. Building front face to have staggered front setbacks between 22' and 27'. Rear setback at 20' for residences, 3' for detached garages. Individual units will be staggered as well within each building.
 - e. Lot sizes regulated by UDC.
 - f. All buildings will have **detached attached** garages **on ground floor or back of building the back of the development tract** and loaded from an alley.
 - g. No parking allowed in alleys outside of garage.
 - h. Spaces between units and **garages backyards outside of 4' fences** are an open shared landscape. No side yard fencing off of sections for private use. Small decorative, 4' max height, fencing area extending 15' off of back entry point for dogs and young residents not to exceed 500 sf of enclosure.

- i. All main entry points will be in the front of the unit, no main entry points on the sides.
- j. Minimum structure height is ~~3~~ 2 stories where each story has a minimum height of 10 feet.
2. The development in this tract will be ~~a condominium regime~~ fee simple with a property owners association established for the overall maintenance of the alleys, grounds, landscape and private parkland and trails
3. The units adjacent to MX-3 zones will be allowed to have flex-use as Air-BnB, or live/work or other short term rental or commercial strategy.
 - a. No work activity is to be evident from the public ~~or private~~ side of the unit including signage.
 - b. Business is of a nature that does not change the normal parking frequency in front of the unit.
 - c. No alley parking allowed.
 - d. Comply with the definition and requirements of Home Occupation in the UDC
4. Landscape:
 - a. Landscape criteria will follow the UDC with exception of:
 - i. Each unit will have either two shade trees in the front; ~~one in the ROW and one closer to the home~~, or one shade tree and two ornamental trees, ~~with one ornamental tree being in the ROW.~~
 - ii. See Exhibit P ~~for street trees planted in ROW~~. trees to be installed by home builder, 3" caliper minimum measured 12" off surface of rootball and ~~centered in the 10' non-paved ROW~~ placed as shown on Exhibit P.
5. Private parkland:
 - a. Open to the overall community for moving back and forth throughout the entire development and maintained by the Property Owners Association.
 - b. Where private parkland intersects a paved road or alley, a curb-height, raised crosswalk, 10' wide with special pavers will be added in the pavement. Where possible, stormwater in these zones to be drained to the linear parkland and through a vegetative filter strip, coor-



Exhibit M

- Modern forms with limited material variations
- Buildings vary between 4, 6, and 8 unit buildings, all with slightly varying forms.
- Windows and details give a pedestrian scale feel and inviting entryways.
- Buildings pulled forward
- Color palettes to range toward soft earth tones
- ADA accessible and convertible units available



RV-1

Attached Village Homes

Site Character:

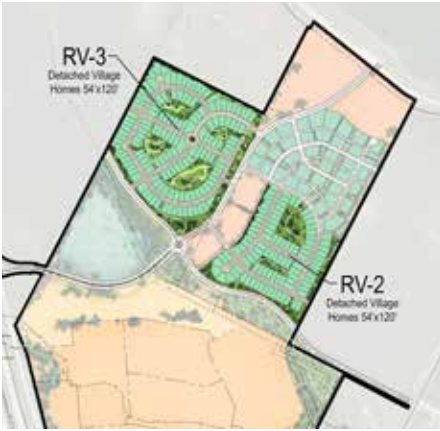
- Single Family attached housing with high level of amenities.
- Alley and garage backed.
- Higher density housing as a land use transition from the active urban core of the development.
- Full residential or Live/Work units.
- Most units back on to a small open yard or adjacent linear parkland.
- Neighborhood well connected by sidewalks and trails to adjoining neighborhoods, parks, and commercial zones.



Exhibit N

The concept plan above is conceptual only. At the time of development permitting, A revised concept will be presented for discussion with the City.





RV-2+ RV-3

Detached Village Homes

RV-2

Min Lot Front	54'
Min depth	120'
Min area	4,800 sf
Front setback	22'-27'
back setback	20'
Min side setback	6'

RV-3

Min Lot Front	54'
Min depth	120'
Min area	5,400 sf
Front setback	22'-27'
back setback	20'
Min side setback	7'



Exhibit O

Front Facade; Multiple Options

Sample Pattern Styles and Design Features

- Open, clean massing in a modernist style
- Functional front porch
- Garage recessed and emphasis on front door
- Wrapped transparent bldg corners
- Open transparency and clean lines
- Primary colors brighter and accents darker
- Varied low profile roof or vaulted ceiling with varied rooflines broken with mid flat roof
- Visual interest on pillars and accents in front facade and garage attention minimized
- Large windows, transparency, transom windows; open and airy
- Complimentary but varied materials
- Garage doors with windows

Note:

This is only a sampling of design features and styles that are preapproved by the City of Pflugerville. Attention will be placed on developing a community that has a unique branding feel that has consistency of design throughout the neighborhood.

The notes above are only a guide and options are not limited to these specifics although certain design styles such as openness and large windows, functional front porches, diminished garages and clean lines will be a priority for the City.



RV-2+ RV-3

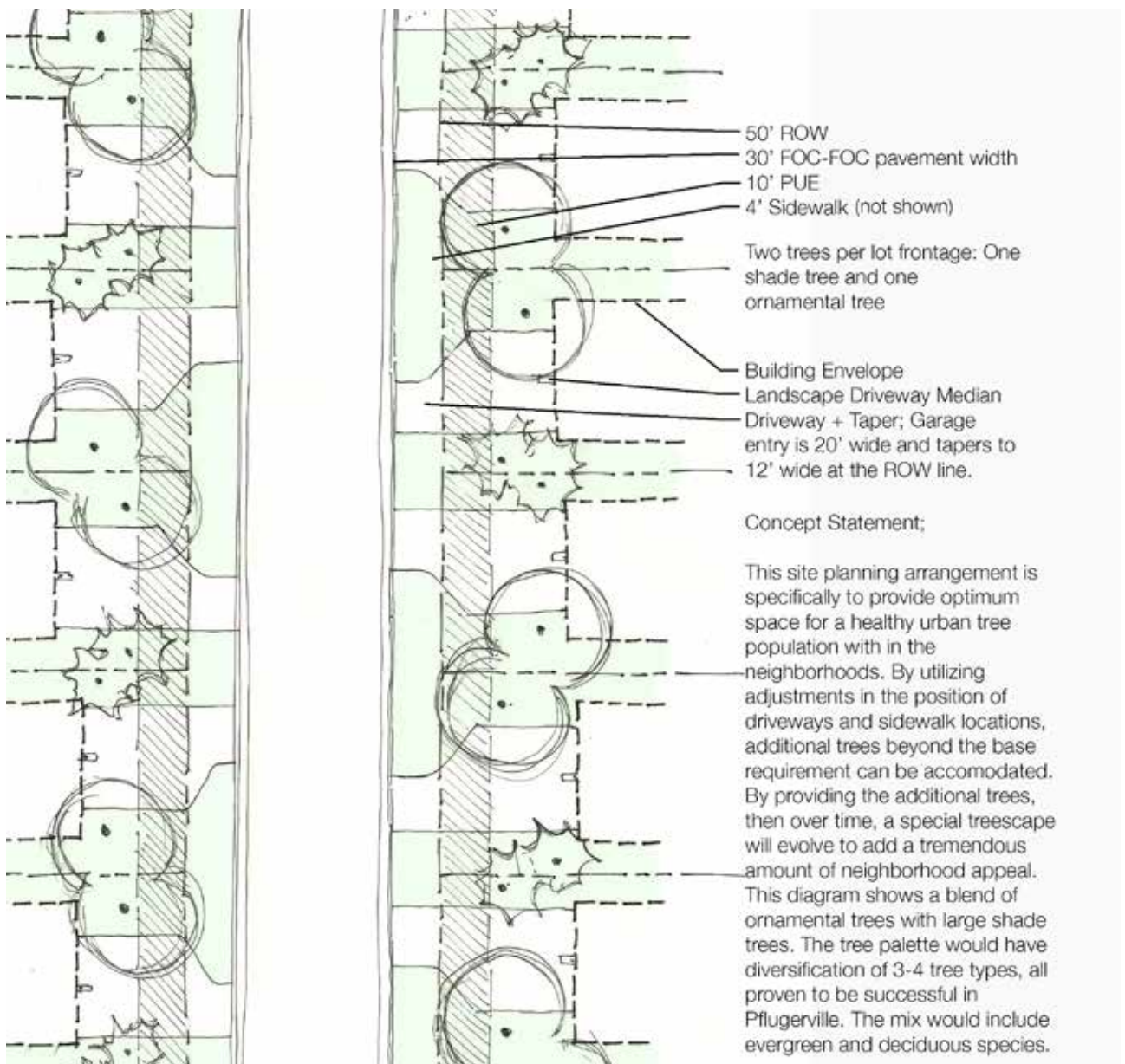
Detached Village Homes

RV-2 + RV-3; Single Family Detached Residential on 54' 40' and 45' lots:

1. This development tract will feature a limited quantity of single family lots with a high percentage opening up to a common private park in the center of each development block.
2. The design and style of these two neighborhoods will be modern design similar to what is depicted on pages 51 and 52.
3. All structures to be no more than 50% one story with the remainder as and 50% two story with each floor having a minimum ceiling height of 10'9". Blend of 1 and 2 story homes to be pre-viewed at the preliminary plan stage.
4. Backyard fencing will be limited to 4' heights with open design decorative fencing with a gate on the back side. Fencing limited to 20' from the back-most room wall of the home for the purpose of containing dogs and youngest residents.
5. House front setbacks will stagger between 22' and 27' as provided on plats. This is to give a more interesting streetscape and comfortable feel for the neighborhoods.
6. Front doors will have additional articulation with porch entry projecting forward to soften front façade. Garages shall be recessed behind the front plane of the livable portion of the ground floor of the house or a covered porch.
7. Driveways:
 - a. Homes to be front loaded with two car garages. Garage doors to be treated with design and stain to minimize attention.
 - b. Garage dimensions to follow City UDC Subchapter 9; 20' x 20'
 - c. Each driveway will have a full 19' of parking between garage door and sidewalk
 - d. Driveways to have stain decorative "salt" or similar finish and design to minimize attention.
 - e. House footprints will have alternating garage sides so that driveways are pushed together opening up larger planting space (see exhibit).
 - f. Each driveway will taper down to a maximum of 12' wide from ROW line to street edge. Side that tapers narrower will be the side opposite the nearest property line.
 - g. Street curbs will be a rolled design so that the driveway entry points are of a continuous profile consistent with the rest of the street. See regulatory street sections, 50' ROW.
 - h. Where two independent garage doors exist, each the driveway will have a small median separating garage sides with vertical landscape of an appropriate scale and ground cover.
8. Landscape:
 - a. Each lot, in alternating patterns, will have either two shade trees on the front lot (one in front yard and one in street ROW) or one shade tree and two ornamental trees (One ornamental tree in front yard and one shade + one ornamental tree in street ROW) on the front of each lot. See Exhibit for graphic for approximate locations.
 - b. Each lot will have at least two trees in the back, one of which will be a shade tree.
 - c. See Exhibit for street trees planted in ROW. Trees to be installed by home builder, 3" caliper minimum measured 12" off surface of rootball and centered in the 10' non-paved ROW.

9. Private parkland:
 - a. Open to the community for moving back and forth throughout the entire development.
 - b. Where private parkland intersects a paved road or alley, a curb-height, raised crosswalk, 10' wide with special pavers will be added in the pavement. Where possible, stormwater in these zones to be drained to the parkland and through a vegetative filter strip coordinated with the stormwater engineering design.
 - c. 10' wide trail maybe concrete or decomposed granite (DG) or a combination of both on election of the developer. Trail on private parkland to be maintained by property owner and open to the public.
10. Developer/home builder will supply the City a Regulating Plan and Master Architectural Plan set of all homes prior to the first building permit. The Regulating Plan contents to be determined by Planning Department.

The diagram below applies to both the 40' lots and the 45' all 54' wide lots.



Streetscape

Exhibit P

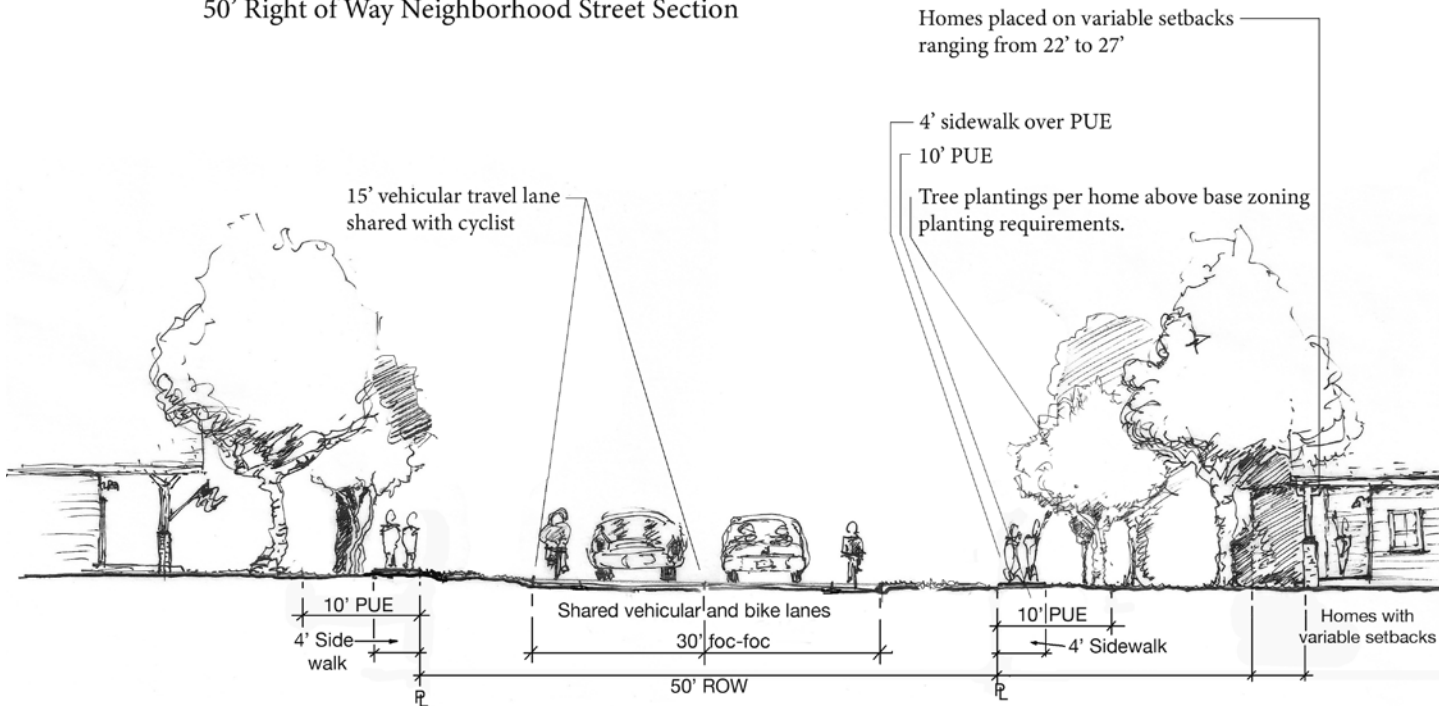


RV-2+RV-3

Detached Village Homes

Exhibit Q

50' Right of Way Neighborhood Street Section



Treescaping a neighborhood

As the plan view in Exhibit P discusses, the concept is about the look and feel of the overall neighborhood by utilizing a tree species and placement that, over time, will result in a value-added neighborhood. Features key to the success are:

- Using a variety of successful trees proven for Pflugerville and using small grouping of like trees to choreograph seasonal color and light
- Near street placement to mature into a canopy dominant streetscape both for pedestrians and driving experience
- Shade trees and ornamental trees so that flowering of the ornamental trees adds an extra richness to the growing season.
- Health; In these terms, providing shade for heat shielding, trees for the health of mental and physical self to promote more outside activity
- Biodiversity; using a high variety of trees creates a better, biodiverse ecosystem
- Market: a treescaped neighborhood has a better time-scaled value add and sells better than those with small and fewer trees
- **Tree placement will appropriately offset vulnerable utilities**



RV-2+RV-3

Detached Village Homes

Modern style architecture in the neighborhoods giving a new, fresh distinctive option for Pflugerville residents.

Multiple options of materials and colors.

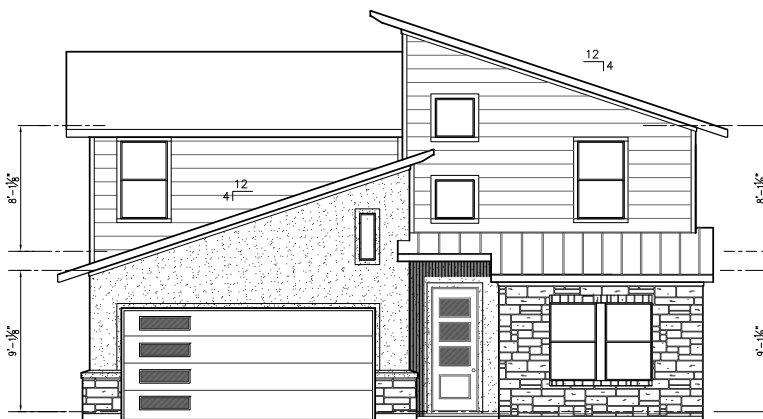
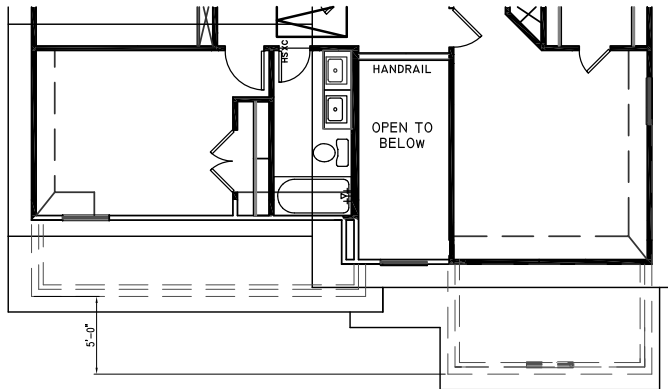
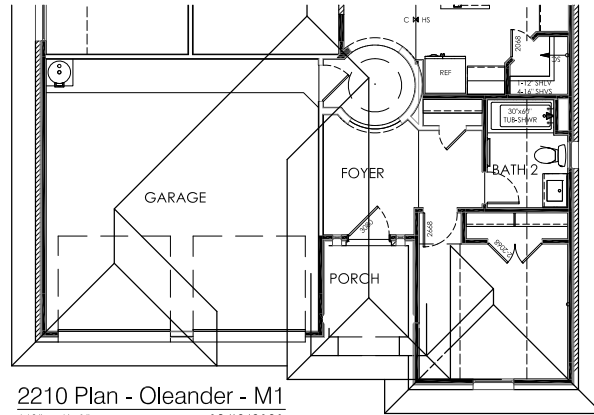


Exhibit R

The images on these pages are conceptual and speak to the architectural style anticipated. Variations on the details and form may occur with advancing the design to formal home plans. The streetscape may differ slightly from the regulatory street sections on pages 13-14 and those pages with the engineered street sections will be the regulation with the neighborhood plans.

Garages will be recessed behind the front plane of liveable area or covered front porch.



MF-1

Multi Family + Commercial

- 28 du/ac mimum, 45 du/ac maximum
- 65' height maximum
- Sq Ft; 5% 1000 SF commercial uses on ground floor and corner prioritized
- Front Setback; 25' for commercial frontage, 15' all else
- Back Setback 20'
- Pedestrian Realm; Walking Surface/ Trail Type; Concrete sidewalk at street edge; 6'-DG on park trails, 10' concrete park trails
- Landscape; Shade or large trees 30' oc along streetscape interspersed with ornamental trees
- Furnishings; Lighting, Benches, Trash Recepticles

Zone MF-1; Mixed Use Multi-Family:

1. This zone will be regulated by UDC Subchapter 4; MF-20, and 9.3 with exceptions as listed below:
2. Regulating ordinances, UDC Subchapter 9 architectural standards.
 - a. Zone will have 5% 1000 square feet of commercial space on the ground floor with the corner of the development being prioritized and the targeted uses being a social gathering space Like a coffee shop or restaurant with outdoor seating with moveable chairs, or similar casual day through evening uses.
 - b. Front setback on the portion of the building to have commercial will be 25' to allow for an expanded public realm. Minimum depth of outdoor seating space to be 14' from front face of the commercial business.
 - c. Live/work may be considered if positioned adjacent to the 5% 1,000 sf of commercial use or as separate building.
 - d. Minimum height of structures shall be 4 stories where minimum ground floor shall be 12' in height and each subsequent story shall have a minimum height of 10'.
 - e. Buildings to be urban in position and form; front facades pushed up to 15' minimum setback but variable in horizontal articulation.
 - i. Parking for the complex shall be completely hidden from street view by wrapping the building around integrated garage parking or structured parking and decorative walls and landscape screening per city UDC.
 - ii. Entry points will be kept to a minimum building code width.
 - f. In the areas of the commercial uses, the front of the commercial uses will have:
 - i. Minimum size of pedestrian space shall be 2 square feet of space per 100 square feet of building floor area or a minimum of 200 square feet; whichever is greater. This space will taper down to 10' walkways.
 - ii. 2 benches along the pedestrian walk will be placed on either side of the commercial use spaced 10' apart.

- iii. Pedestrian plaza will have a 4' low ornamental enclosure around the tables and chairs, positioned as to not interfere with pedestrians passing by.
 - g. Outside of the commercial uses, one bench spaced every 200 feet along the pedestrian walks in front of use areas (not loading, parking screens, circulation, back service areas).
3. ~~UDC Subchapter 11; Landscaping requirements listed below. If not spoken to then UDC Subchapter 11 rules apply. will be the regulating ordinance with exceptions below:~~
- a. Landscape percentage requirements of the UDC do not apply to this PUD
 - b. In addition to the above 2.e.i.; parking for the complex shall be completely hidden from street view complimenting constructed elements with decorative walls and landscape screening per city UDC.
 - c. Regarding tree plantings, refer to enhanced tree planting in definitions: As a general rule; a shade tree expected to have a 35' diameter canopy and 16" caliper trunk is required to be planted in a tree pit 3' deep with 1000 cubic feet of soil. Approximately 18'x 18' uncompacted soil if square pit. Shade tree planting zone not to be less than 4' wide.
 - d. If tree plantings are within an impervious cover area then a suspended pavement system or tree grates are required
 - e. ~~In the areas of the commercial uses, the~~ The front of the commercial uses will have enhanced a more intensive landscape will be added at the same sf depth as the additional extend from the outdoor seating area to the back of curb space consisting of pedestrian sidewalk, trees, shrubs and ground cover.
 - i. Building face 25' from back of curb to have 1 tree per every 300 sq ft of landscape area by calculation however the trees can be grouped in more organic form if preferred
 - ii. Building face 25' from back of curb to have 8 shrubs per 300 sq ft with any arrangement prioritizing screening of service areas and mechanical equipment
 - iii. Decorative pavement to count as part of the landscape area whether plaza or sidewalk
 - iv. Sidewalk can pass through outdoor seating
 - v. Sidewalk not to exceed 6' in width through, or on side of outdoor seating
 - vi. The area of landscape may be integrated with the pedestrian or café patron zone as long as it still accommodates outdoor seating and the square footage is consistent.
 - vii. If commercial use is 15' or less in frontage width then the landscape extends 5' additional on either side of the commercial
 - viii. Raised planters may be used within the landscape area not to exceed a 3' height
 - f. Remainder of building development facing Balaton Blvd to have a combination of trees, shrubs, ground cover, and lawn areas
 - i. Building face 15' from back of curb to have 1 tree per every 300 sq ft by calculation however the trees can be grouped in more organic form if preferred
 - ii. Building face 15' from back of curb to have 8 shrubs per 300 sq ft with any arrangement prioritizing screening of service areas and mechanical equipment
 - iii. At the rate of shrubs and trees in ii above if service areas and mechanical equipment is still unscreened then additional landscape and/or screening walls to be added to fully screen these areas or elements
 - g. Building side facing creek and regional trail
 - i. Landscape area will be 40' from building face or developed areas and have:
 - ii. In landscape area: 1 tree per 300 sq ft and 6 shrubs per 600 sq ft
 - iii. may have lawn areas to the extent that landscape beds have minimal bare mulch



MF-1

Multi Family + Commercial

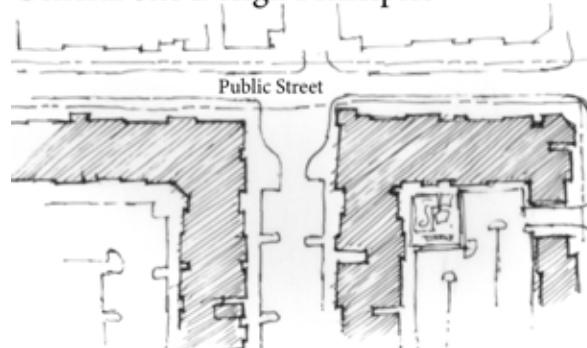
- areas. Mulch exposure to be maximum of 20% of landscape bed at maturity
- iv. Trail to have 6' mow strip on both sides minimum for building side, maximum for creek side. Creek side to remain natural and unmowed
- h. Build face that front SH 130
 - i. Landscape area will be 40' from building face or developed areas and have:
 - ii. 1 tree per 300 sq ft and screening shrubs as necessary for all service and mechanical areas
 - iii. Lawn areas to remain natural at minimum of 40' from ROW
- i. All tree and landscape beds to be covered with plants unless under tree grates or suspended pavement. Lawn can be used when on back sides of building or non-public fronting building face. No bare or mulched tree pits or landscape areas. For dimensionally restrictive areas or high pedestrian use areas, suspended pavement systems or tree grates allowable
- j. Shade trees on streetscape to be 4" caliper and regular shape according to species. Shade trees elsewhere to be 3" caliper
- k. Appropriate fast growing trees will be planted to provide complete shade during mid-Summer noon sun, once mature.
 - i. Shade trees on streetscape to be 4" caliper and regular shape according to species. Shade trees elsewhere to be 3" caliper
 - ii. See tree section on page 8 for diversity calculation
- l. Non decorative surface walks not included in landscape area
- m. Raised vegetated ornamental planters count toward landscape area
- n. Shade trees planted a minimum of 10' from building face
- o. Streetscape shade trees planted in landscape space with minimum width of 6' unless floating pavement systems or tree grates employed per manufacturer recommendation
- p. Streetscape large trees planted less than 6' from back of curb to use root barriers to protect curbs
- q. Streetscape trees to be 80% shade trees and 20% ornamental trees
- r. Streetscape shade trees space every 30'; ornamental trees minimum of 10' spacing
- s. Select trees/ species with branching patterns that are elevated or trimmed to avoid pedestrian conflicts
- t. Shrubs and other ornamental plants along pedestrian paths in building frontage not to exceed 3' in mature height unless against a building or wall (security)
- u. Large expanses of mulch without expectation of groundcover or shrub coverage at maturity is not allowed. At maturity, mulch exposure to be maximum of 20%
- v. All frontage landscape areas to be drip irrigated (with non-potable water if available)
- w. All landscape and trees to have irrigation following City UDC requirements with the exception of using reuse water where allowable by development agreement.
- x. Implementation: Street trees to be installed by the developer of the building on the same



MF-1

Multi Family + Commercial

General Site Design Principles



- Building to be urban in position and form
- Building fronts to push up close to street edge
- Building corner to have commercial use on ground floor
- Parking internalized from view on public right of way sides
- Public realm between building fronts and public streets to be well landscaped including shade trees

Exhibit S

lot. Developer responsible for the coordination of tree wells or landscape beds, irrigation, license agreements where applicable, etc.

4. Unit mix will follow the city UDC.
5. Private parkland:
 - a. Multi-family amenities shall comply with UDC Subchapter 9.6.3 and may include significant amenities, enhanced landscape and children's play areas as defined on pages 9 through 11 for multi-family projects applying for credit toward Park Development Fees.
 - b. Open to the community for moving back and forth throughout the entire development.
 - c. Where private parkland intersects a paved road or alley, a curb-height, raised crosswalk, 10' wide with special pavers will be added in the pavement. If possible, stormwater in these zones to be drained to the parkland and through a vegetative filter strip coordinated with the stormwater engineering design.
 - d. 10' wide trail **maybe** will be concrete. Trail on private parkland to be maintained by property owner and open to the public.
6. Phasing to be from completion of zoning and design, and for the next 5 years.



MF-1

Multi Family + Commercial



Exhibit T; Sample architectural style, not inclusive of the street section or streetscape

LEVY

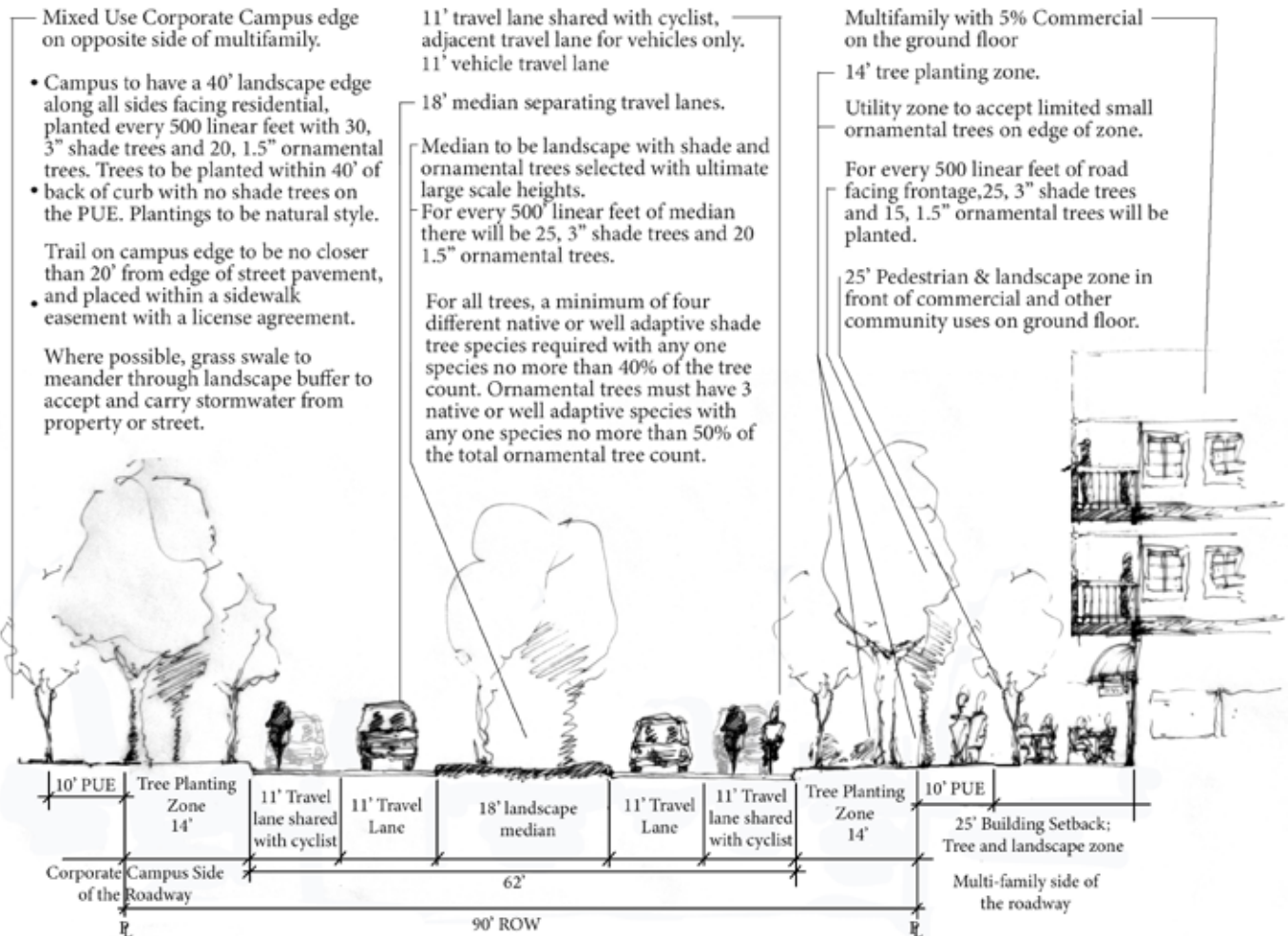


Exhibit U



CC

Corporate Campus

- Site Area; ~~18.95~~ 29.15 Acres, subdivision lot size: UDC regulates
- Use; Corporate Campus- Major anchoring corporate or institutional campus, large scale corporate, commercial, entertainment, and personal services
- Front Setback (Street type A&B); 40 feet
- Rear setback 40'
- Pedestrian Realm; Walking surface/ trail type; concrete sidewalk at street edge; 6' DG on park trails
- Landscape; Shade or large trees 30' oc along streetscape interspersed with ornamental trees

Zone CC; Corporate Campus:

1. Planning intention for this site is to attract one or more major user, institutional, or employment center(s).
 - a. Site would be master planned and potentially include a wide variety of compatible uses, whether they were employment or supporting services. Broad ancillary uses would be encouraged and the project would be supported by nearby multi-family and other housing types.
 - b. Site is connected by an integrated development and regional trail system for cyclist to easily move between employment, housing, and recreational/nightlife lifestyle experiences.
2. UDC Subchapter 9 will be the base regulating standard for architectural standards, UDC Subchapter 10 for parking, mobility and circulation, and UDC Subchapter 11 for landscape with the exception of the following list of additional criteria:
 - a. Minimum height of structures shall be ~~2-3~~ 4 stories where the minimum ground floor shall be 12' height and each subsequent story shall have a minimum of 10'.
 - b. The CC tract shall have a 40' landscape and trail zone along street "A".
 - i. Trail to be separated from the type B street edge by minimum of 20'.
 - ii. 40' zone to be a tree planting zone that counts toward tree mitigation.
 - iii. Within the 40' tree zone, for every 500 linear feet, 30, 3" shade trees and 20, 1.5" ornamental trees.
 - iv. No shade trees over the 10" PUE.
 - v. A minimum of four different native or well adaptive shade tree species required with any one species no more that 40% of the total shade tree count. A minimum of 3 native or well adaptive ornamental tree species with any one species having more than 50% of the total ornamental tree count.
 - vi. Minimum shade tree spacing is 30' on center. Ornamental tree species, no closer than 10'.



CC

Corporate Campus

a. Architecture:

- i. Minimum height of ~~two~~ 3- 4 stories
- ii. Buildings designed as liner buildings with a primary façade located adjacent to the 40' landscape and trail edge.
- iii. Building facades shall be designed with windows throughout with a minimum of 70% of the ground floors being transparent along the street facing façade.
- iv. Enhanced primary building entrances shall face towards the street and shall be readily accessible by a direct path from the street to the entrance.
- v. Primary building entrances shall be predominantly transparent and include pedestrian gathering spaces containing low seating walls or similar permanent seating capacity, pedestrian scaled lighting, art, bicycle rack, and native landscaping.
- vi. Parking for corporate campus and commercial shall predominantly be provided by structured parking. Where surface parking lots are provided, they shall be established as pods, located behind buildings and screened from view in accordance with the UDC screening requirements. At no point shall a surface lot be located between the street and the building.

b. Parking

- i. All parking for ~~MX~~ CC zones will be contained within parking structures or small pod parking lots of no more than 100 cars behind buildings away from view from the street. Parking and circulation in the ~~MX~~ CC zones will follow UDC subchapter 9, 9.7 for structured parking and subchapter 10 for all other requirements except as noted below:
- ii. Parking structures required for minimum of 50% of total required parking
- iii. Quantity of parking spaces must follow City UDC for the uses they serve.
- iv. Parking will be completely shielded from public view with exception of entry points, and commercial building gaps no more that 30' wide and gaps heavily screened with landscape. If gaps occur then they must include parking access walkways or be walled off and landscaped.
- v. Larger building gaps up to 70' wide are allowable if the gap is accommodating a drive, pocket park with activity, children's play area, music or similar venue, or other special feature, with heavy landscape screening, upon review and approval by planning director at the site plan review level.
- vi. If the building gap is to accommodate a drive then 1 tree per every 400 square feet of land between drive and buildings for the depth of the buildings. And shrub massing at the foundations of each building end facing the drive



CC

Corporate Campus

- vii. In larger building projects, parking pods can be larger if:
 - 1. The building or buildings surrounds the majority of the pod.
 - 2. Parking counts meet UDC.
 - 3. Walls greater than 30' up to 60' shall have an enhanced landscape with complete screening of the wall and include minimum of four park benches.
 - 4. Walls no closer than 25' from property line.
 - viii. Urban parking structures will only have a ground floor presence with entry and exit points. Upper garage floors will have limited street exposure to be determined by ventilation requirements and planning director approval.
 - ix. ROW Sidewalk placement will be shown on the regulating street sections, pages 14- 15
 - x. Hike and bike trail alignments in this document are conceptual and will approximate the Parkland/ Open Space Exhibit on page 18
- c. Trail & Sidewalk Network:
- i. Trail network in conjunction with a campus sidewalk plan would crisscross the site to connect to the edges at logical locations.
 - ii. One significant pedestrian creek crossing will be the main axis of the trail moving north to south across the entire Lakeside Meadows development.
 - iii. A secondary trail will cross the creek at a lower elevation within the flood plain.
 - iv. Trail networks will be established at the site planning stage and will have direct connections to important campus centers. See Lakeside Parkland Exhibit for conceptual locations for trail connections outward from the Corporate Campus zone.
 - v. Sidewalks and trails to connect to the regional PUD trail system including the creek trail. Trail system connections to the north will coordinate with any existing developer or city documents for location. If none, then the trail connections will be constructed to the property lines for future connections by others.
 - vi. An integrated system of sidewalks and trails will connect the CC zone to the C & CI zone to enhance interaction and broader use offerings.



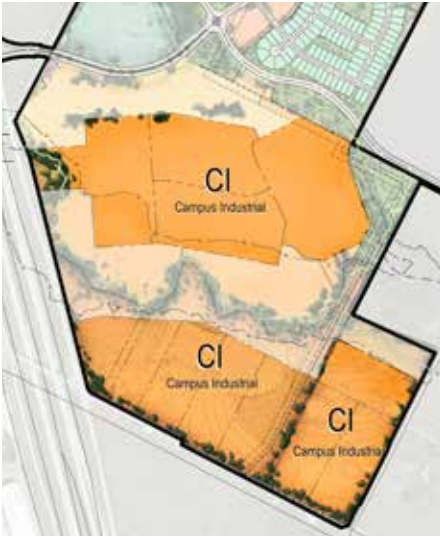
CI

Campus Industrial

- Lot size: UDC regulates
- Use; Follows UDC uses for base zoning CI
- Front Setback: UDC regulates
- Rear setback: UDC regulates
- Pedestrian Realm; Walking surface/ trail type; concrete sidewalk at street edge
- Landscape; Shade or large trees minimum of 30' oc along streetscape interspersed with ornamental trees. See below
- ~~Parking ratio; 1/2000 minimum; 1/1000 maximum~~ Per UDC

Zone CI; Campus Industrial:

1. Uses on this tract will follow CI zoning base district; UDC Subchapter 4.3 Zoning, and UDC Subchapter 9.4, Architectural Standards. Screening will be in accordance with Subchapter 11.
 - a. Additional permitted uses to include logistics, and restaurant(s).
2. Buildings to be minimum of 4 1 story
3. Vehicular traffic; trucking transport, will be directed eastward internally and connect east end of Colorado Sands to route toward Weiss and Pecan
4. Outdoor storage ~~is not is permissible when not visible from appropriately screened, and setback at least 100 feet from a public right-of-way line.~~ shall only be allowed for storage of material related to the operations of the primary use of the tenant or owner-occupier. Approval of such storage shall be considered through the Specific Use Permit process.
5. Trails to connect to the regional PUD trail system including the creek trail. Trail system connections to the north will coordinate with any existing developer or city documents for location. If none, then the trail connections will be constructed to the property lines for future connections by others. Trails to connect to sidewalks.
6. An integrated system of sidewalks and trails will connect the CI zone to the CC and C zone to enhance interaction and broader use offerings.
7. Site grading will drop the site elevations that will in effect, diminish site-lines into the facility.
8. End-wall treatments will add articulation and tree plantings to appear more office-like form the viewpoint of Pecan Street.
9. Trees:
 - a. Shade trees shall be planted along all public roadways, ~~private streets, main drive aisles.~~ Specifically, shade trees proposed to apply to east entry drive up to property line of 130 acres to remain consistent with park setting and drive between CC and CI uses; 30' oc.
 - b. Every 500' and on road intersections, two shade trees will be substituted with 6 ornamental trees ~~including private streets and main drives aisles serving CI parking and loading areas.~~ Specifically, shade trees proposed to apply to east entry drive up to property line of 130 acres to remain consistent with park setting and drive between CC and CI uses.



CI

Campus Industrial

Site Acreage 71.09 ac,

~~excluding the roads serving the campus internally.~~

c. See overall PUD Standards for diversity and other requirements.

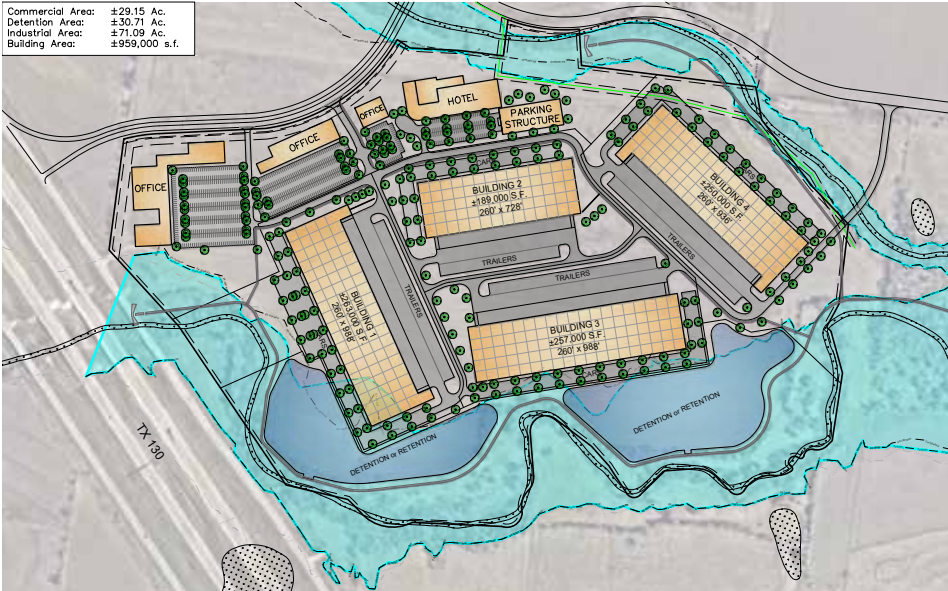
~~10. Chain link fence shall not be permitted when not visible from or at least 100' from a non-local road.~~

~~11. Dock doors are not permitted to face a public street when not~~

LAKESIDE MEADOWS (PFLUGERVILLE, TX)

CONCEPT SITE PLAN C9

Commercial Area: ±29.15 Ac.
 Detention Area: ±50.71 Ac.
 Industrial Area: ±71.09 Ac.
 Building Area: ±959,000 s.f.



~~visible from or at least 100' from a non-local road. Buildings shall endeavor to face building fronts toward exterior property lines.~~

~~12. Detention pond screening shall follow UDC Subchapter 11; Landscape and Screening Standards, 11.8.6 Screening of Stormwater Detention. Landscaping shall be provided with the first site plan in the CI~~

NORTHPOINT DEVELOPMENT

Building Exterior Examples



The plan shown above is subject to change and only represents a conceptual site plan. The landscape and screening criteria are not represented in this plan.



C Commercial

Site Area	11.6 Acres
Building sf	59,400 sf Two Level Office
Parking	357 Total Spaces
Parking Ratio	6/1000
Setbacks	UDC regulates

Zone C; Commercial:

1. Uses on this tract will follow CL-5 zoning base district; UDC Subchapter 4.3 Zoning, and UDC Subchapter 9.4, Architectural Standards. Screening and landscaping will be in accordance with UDC Subchapter 11.
2. Allowable land uses will be in accordance with the Land Use Chart on page 20-21.
3. Minimum height of structures shall be 2 stories where the minimum ground floor shall be 12' height and each subsequent story shall have a minimum of 10'.

4. Sidewalks and trails to connect to the regional PUD trail system including the creek trail. Trail system connections to the north will coordinate with any existing developer or city documents for location. If none, then the trail connections will be constructed to the property lines for future connections by others.
5. An integrated system of sidewalks and trails will connect the C zone to the CC & CI zone to enhance interaction and broader use offerings.
6. Site grading will drop the site elevations that will in effect diminish site-

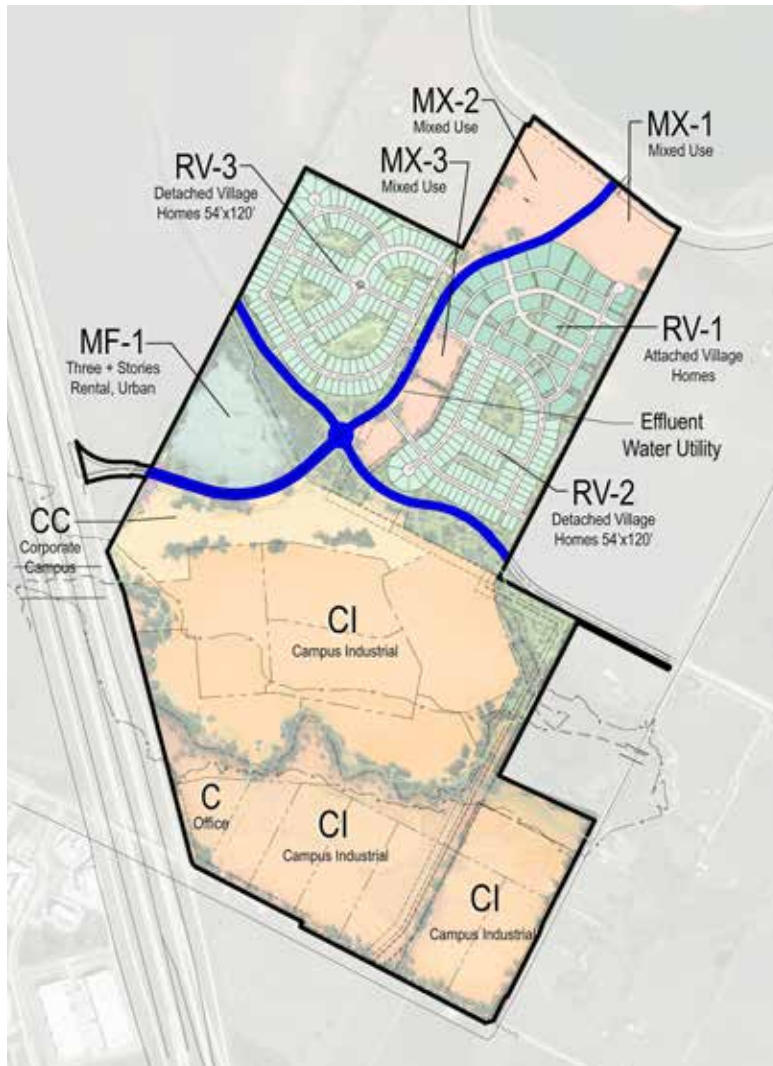
The plan shown above is subject to change and only represents a conceptual site plan. The landscape and screening criteria are not represented in this plan.



Project Overall

Additional Development Amenities

Exhibit Y



Effluent Irrigation

City to provide infrastructure for the sale and distribution of effluent water for the purposes of irrigation only. The water will be for sale and available to the developments along the corridors where the line is present. Currently this is along the two main corridors in blue in the exhibit to the left.

Water Play and Fountains

Another use of water in the project under consideration is the use of water elements for aesthetic and recreational purposes. Using a potable water supply, fountains and water play elements may also be incorporated within the MX districts, especially MX-1 with the development of a significant public project connecting the lake to the project.

Combining water play playscapes, music and cafes embedded within a retail/social space brings together the ingredients for a truly destination oriented public space.



Exhibit Z



Project Overall

Examples of Proposed Development Amenities

