

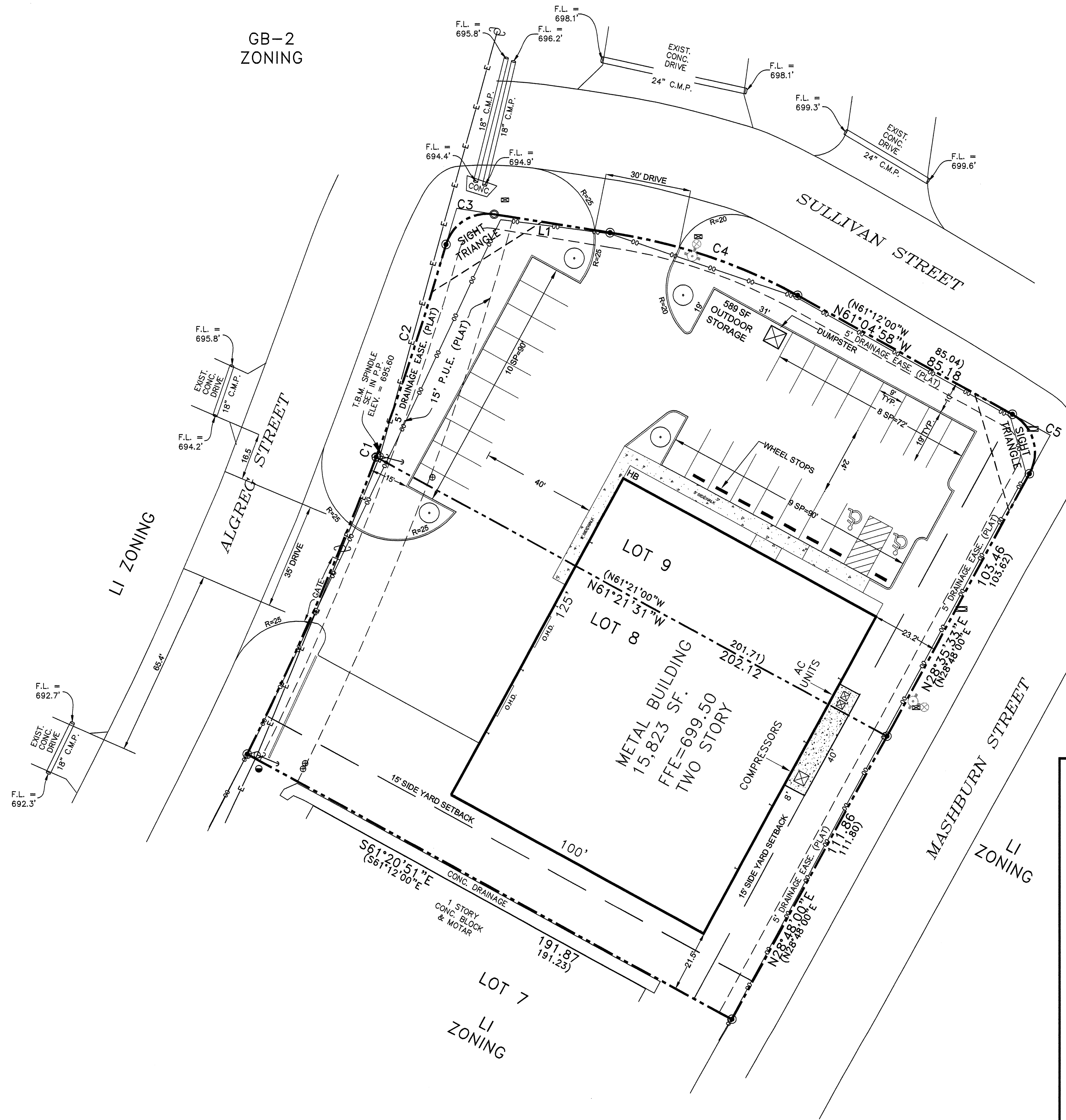
GB-2
ZONING

SCALE = 1:20'

CURVE TABLE				
CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	112.31	1122.54	N23°33'38"E (N23°26'50"E)	112.26 (112.29)
C2	77.32	1122.54	N18°20'29"E (N18°37'12"E)	77.30 (76.80)
C3	21.51	15.00	S58°03'24"W (S57°45'07"W)	19.71 (19.72)
C4	68.96	197.37	N71°42'34"W (N71°10'40"W)	68.61 (68.39)
C5	23.90	15.00	N15°54'02"W (N16°12'00"W)	21.45 (21.21)

LINE TABLE				
L1	40.79	NA	S80°50'09"E (S81°09'19"E)	NA

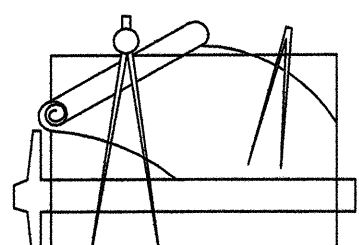
LEGEND	
OVERHEAD DOOR	O.H.D.
2 INCH MONTERREY OAK	○
HOSE BIB	HB
PUBLIC UTILITY EASEMENT	P.U.E.



SITE DATA

SITE AREA:	1.04 AC.
LEGAL:	LOT 8 & 9, BLOCK B 685 COMMERCIAL PARK (86/143B & C)
ADDRESS:	20109 ALGREG STREET
ZONING:	LIGHT INDUSTRIAL (LI) ORDINANCE 1031-09-11-24
DEVELOPMENT AREA:	2 (ORDINANCE 1032-09-11-24)
PROPOSED USE:	LIGHT INDUSTRIAL
PARKING REQUIRED:	27 SPACES (1:600) (1:1000 OUTDOOR STORAGE)
PARKING PROVIDED:	25 REGULAR SPACES 2 HANDICAPPED SPACE 27 TOTAL
IMPERVIOUS COVER:	0.70 AC. (67.3%)
FAR:	1:0.35

CONTRACTOR'S RESPONSIBILITY
THE LOCATION OF EXISTING UNDERGROUND AND ABOVE GROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR BY HIS/her FAILURE TO LOCATE AND PRESERVE ANY AND ALL UTILITIES PRIOR TO BEGINNING ANY WORK OR ORDERING ANY MATERIALS. THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND LOCATIONS OF THE BUILDINGS AND OTHER SITE COMPONENTS AND THEIR INTERRELATIONSHIP WITH THE BUILDING SITE, AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS.
FURTHERMORE, THE CONTRACTOR RESPONSIBLE FOR ALL AMERICAN DISABILITIES CODE COMPLIANCE AND TEXAS ACCESSIBILITY STANDARDS FOR THE CONSTRUCTION OF ALL ITEMS CONTAINED HEREIN INCLUDING BUT NOT LIMITED TO HANDICAP ACCESS GRADES, DIMENSIONS, ETC. CONTRACTOR IS TO NOTIFY GRIFFIN ENGINEERING GROUP, INC. OF ANY CONFLICTS WITH THE PLANS AND THE CONDITIONS IN THE FIELD DURING CONSTRUCTION.



REGISTRATION F-634

**GRIFFIN
ENGINEERING GROUP INC.**

11711 NORTH LAMAR BLVD., AUSTIN, TEXAS 78753 (512) 836-3113

**PT PRODUCTS
20109 ALGREG STREET
LAND USE PLAN**

SHEET
NUMBER

3 of 12



6/26/12