



BENCHMARK NOTE: 5/8-INCH IRON ROD FOUND ALONG LATHE STAKE: (N 101.49 439.755, LOCATED WITH G.P.S. AND HAS 3156822.646, ELEV: 780.92' (NA



PARENT TRACT MASTER PLAN NOTES

THE PRELIMINARY EASEMENTS OF PUBLIC UTILITY EASEMENTS (P.U.E.) ALONG BOTH SIDES OF THE PROPOSED RIGHT OF WAY DUE TO THE CONCEPTUAL NATURE OF THE ROADWAY LAYOUTS SHOWN HEREON, THESE EASEMENTS SHALL BE DEDICATED UPON AMENDMENT OR REVISION OF THE PRELIMINARY PLAN.

BENCHMARK NOTE:
5/8-INCH IRON ROD FOUND ALONG THE SOUTHERLY RIGHT OF WAY OF S.H. 130 WITH
LATHE STRAKE; IN 101.49 439.755, E 315.68 644.523, ELEV: 780.97' THIS IRON ROD WAS
LOCATED WITH G.P.S. AND HAS A FOUND LOCATION OF: N 01.49 305.784, E
315.6822 644, ELEV: 780.97' (NAVD 88, GEOID 03)

1117 Cherokee St., Suite 306
Denver, CO 80204
303.670.7472

4602 Plover Lane, 4D
Denver, CO 80439
303.670.7472

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TERRELL TIMMERMANN FAMILY LAND FILING NO. 1
FLUGGERVILLE, TX 78660
TRAVIS COUNTY, STATE OF TEXAS
TX 14-018
SHOPS AT 685



2/23/15

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REVISION:
2015-01-14 ADDRESSED CITY COMMENTS
2015-01-14 ADDRESSED CITY COMMENTS
2015-01-14 ADDRESSED CITY COMMENTS

DATE: August 18, 2014
DRAWN BY: JKP
CHECKED BY:

PHASE 1 PLAN

C4.0

SHEET 4

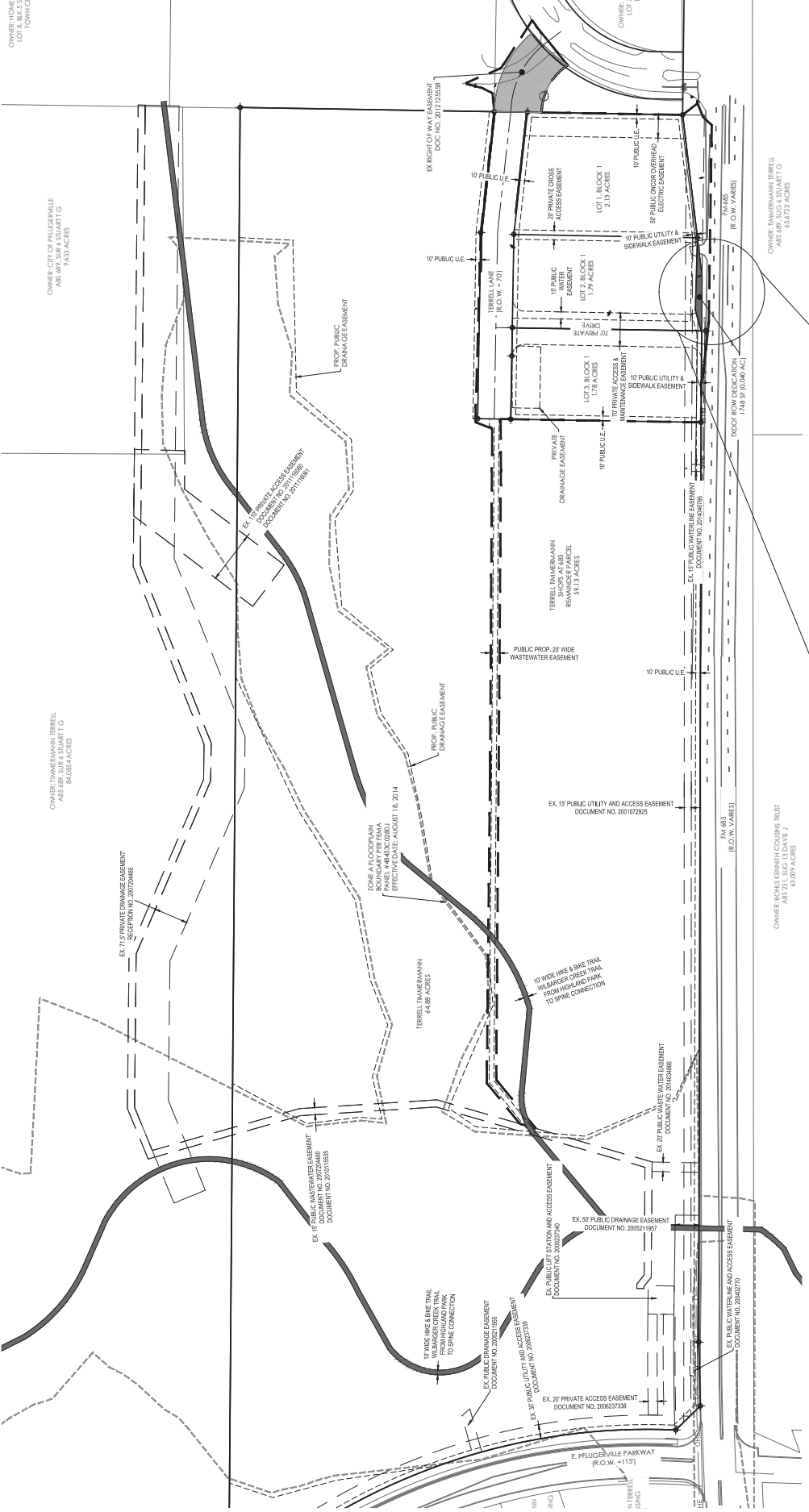
LEGEND

- PROP. TxDOT DEDICATION
- EX. RIGHT OF WAY EASEMENT
- PHASE 1 BOUNDARY LINE

DRAWING SCALE & NORTH ARROW

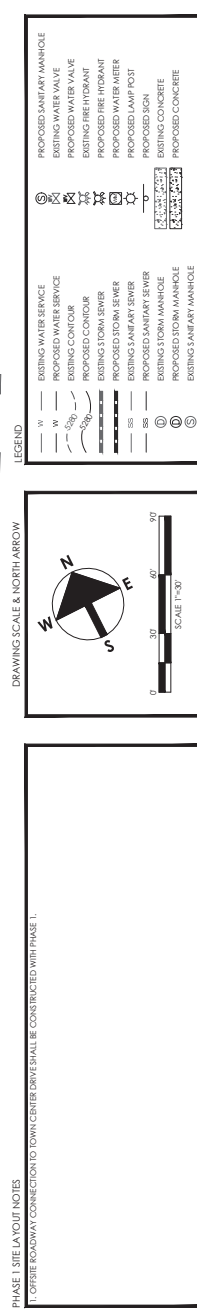
0 100 200 300
SCALE 1"=100'

W N E S



BENCHMARK NOTE:

5/8-INCH IRON ROD FOUND ALONG THE SOUTHERLY RIGHT OF WAY OF S.H. 130 WITH
AN ELEVATION OF 548.11 FEET. THE IRON ROD WAS FOUND AT THE INTERSECTION OF
LOCATED WITH GPS. AND HAS A TYPICAL LOCATION OF N 45.00 E 284.1
315602.444, ELEV: 786.92 (NAVD 83, GROUND).



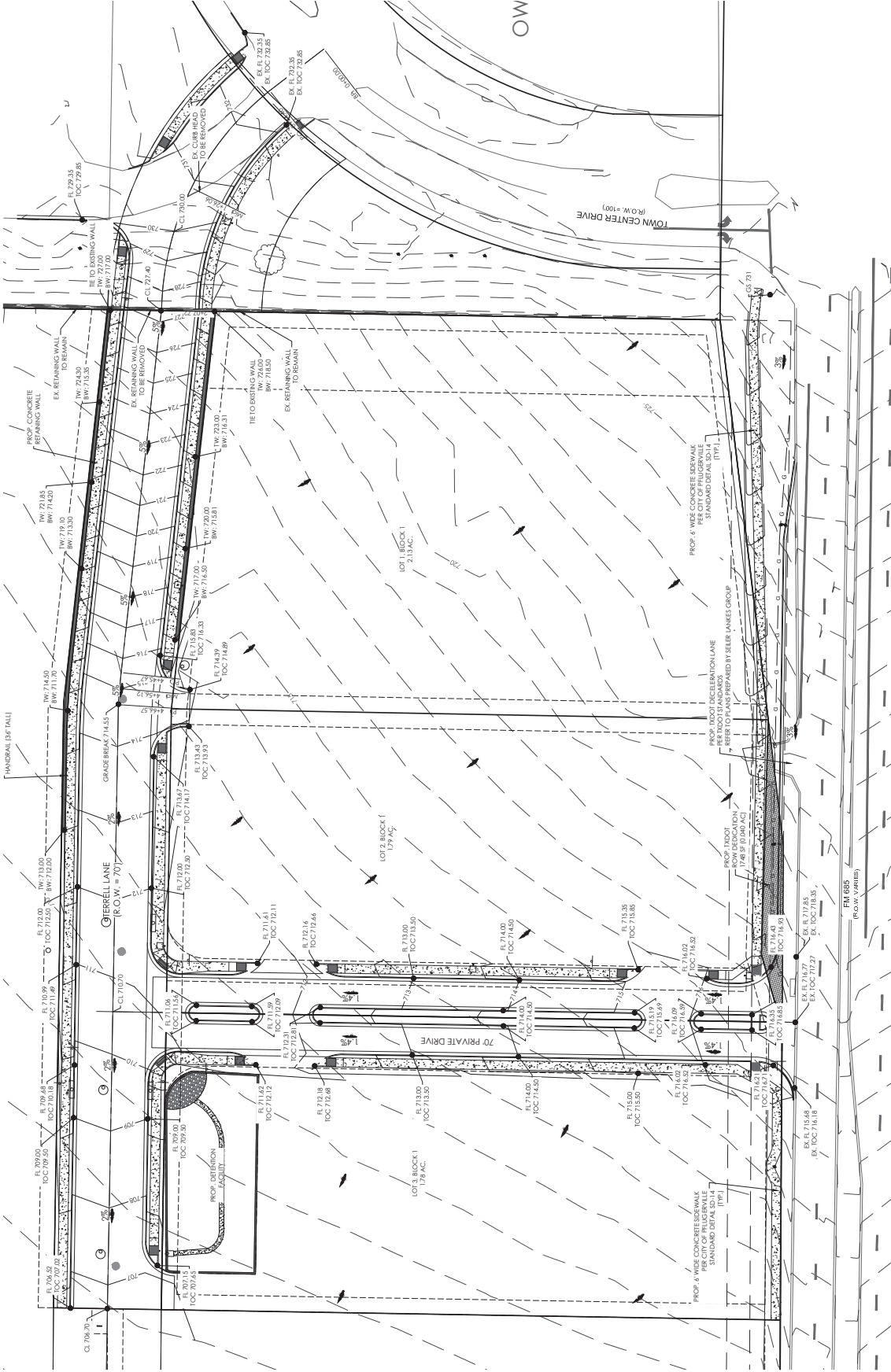


DATE: 12/29/15
CHECKED BY: KMP
DESIGNED BY: KMP
REVISION:
2014-154: ADDRESS COMMENTS
2015-158: ADDRESS CITY COMMENTS
2015-251: ADDRESS CORRECTIONS

GRADING PLAN

C6.0

SHEET 6



LEGEND

W	EXISTING WATER SERVICE	PROPOSED SANITARY MANHOLE
W	EXISTING WATER VALVE	EXISTING WATER VALVE
W	EXISTING FIRE HYDRANT	EXISTING FIRE HYDRANT
W	EXISTING FIRE HYDRANT	PROPOSED FIRE HYDRANT
W	EXISTING WATER METER	PROPOSED WATER METER
W	EXISTING LAMP POST	PROPOSED LAMP POST
W	EXISTING SIGN	EXISTING SIGN
W	EXISTING CONCRETE	PROPOSED CONCRETE

ABBREVIATIONS

TOC	TOP OF CURB
FL	FLOW LINE
GS	GRADE SHOT
FE	FINISHED FLOOR ELEVATION
CL	CENTRELINE
TW	TOP OF WALL
BW	BOTTOM OF WALL

GRADING PLAN NOTES

1. All grades shown herein are based upon NAVD83.

BENCHMARK NOTE

USMC MON 000100, ALONG THE SOUTHERLY BOUNDARY OF 685, IS A 30" WIDE LARSEN BENCHMARK, ELEVATION 756.515864523. ELEV. 780.971 THIS BENCHMARK WAS LOCATED WITH GPS AND HAS A ROUND LOCATION OF N 01° 49' 30.57" E 318662.544. ELEV. 780.777 (NAD 83).



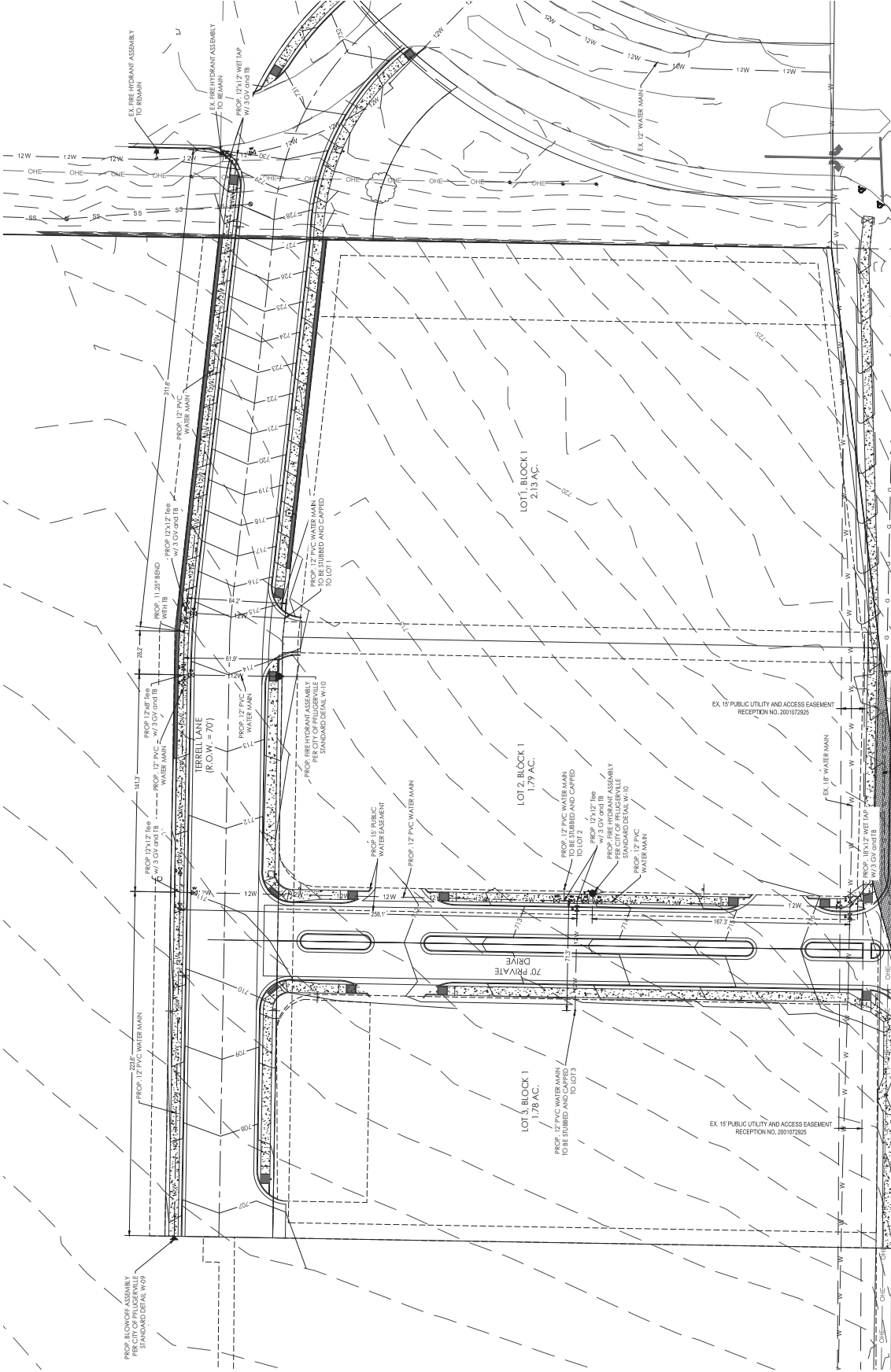
2/29/15
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TERRELL TIMMERMANN
ALL RIGHTS RESERVED
REVISION:
2015-154 ADDRESS CITY COMMENTS
2015-154 ADDRESS CITY COMMENTS
2015-154 ADDRESS CITY COMMENTS

DATE: 2/29/15
DESIGNED BY: KJP
CHECKED BY: KJP

OVERALL WATER
INFRASTRUCTURE
PLAN

C7.0

SHEET 7



LEGEND

W	EXISTING WATER SERVICE
W	PROPOSED WATER SERVICE
W	EXISTING CONTOUR
W	PROPOSED CONTOUR
W	EXISTING STORM SEWER
W	PROPOSED STORM SEWER
W	EXISTING SANITARY SEWER
W	PROPOSED SANITARY SEWER
W	EXISTING STORM MANHOLE
W	PROPOSED STORM MANHOLE
W	EXISTING SANITARY MANHOLE
W	PROPOSED SANITARY MANHOLE

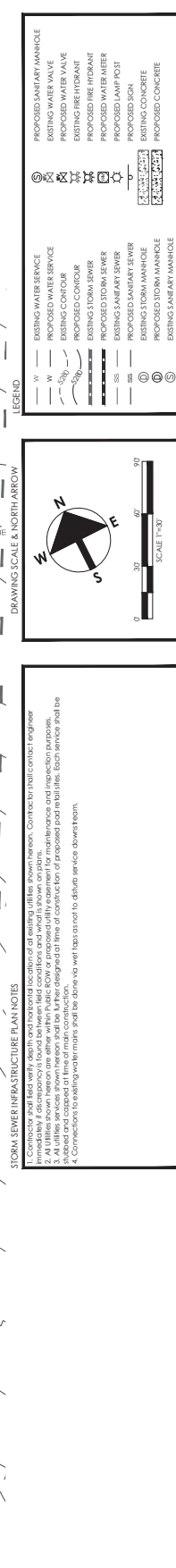
WATER INFRASTRUCTURE PLAN NOTES

1. All utilities shown herein are either within public ROW or proposed utility easement for maintenance and inspection purposes. Immediately if discrepancy is found between field conditions and what is shown on plans.
2. All utilities shown herein are either within public ROW or proposed utility easement for maintenance and inspection purposes. Immediately if discrepancy is found between field conditions and what is shown on plans.
3. All utilities shown herein are either within public ROW or proposed utility easement for maintenance and inspection purposes. Immediately if discrepancy is found between field conditions and what is shown on plans.
4. Connections to existing water mains shall be done via wet taps as not to disturb service downstream.

DRAWING SCALE & NORTH ARROW

0 30' 60' 90'

SCALE 1"=30'



SANITARY SEWER INFRASTRUCTURE PLAN NOTES

Contractor to field verify and report the location of all existing utilities shown herein. Contractor shall contact Engineer immediately if discrepancy is found between field conditions and what is shown on plans.

1. All utilities shown herein are either within public ROW or proposed utility easement for maintenance and inspection purposes.

2. All utilities services shown herein shall be further designed at time of construction of proposed pad facilities. Each service shall be stubbed and capped at end of main construction.

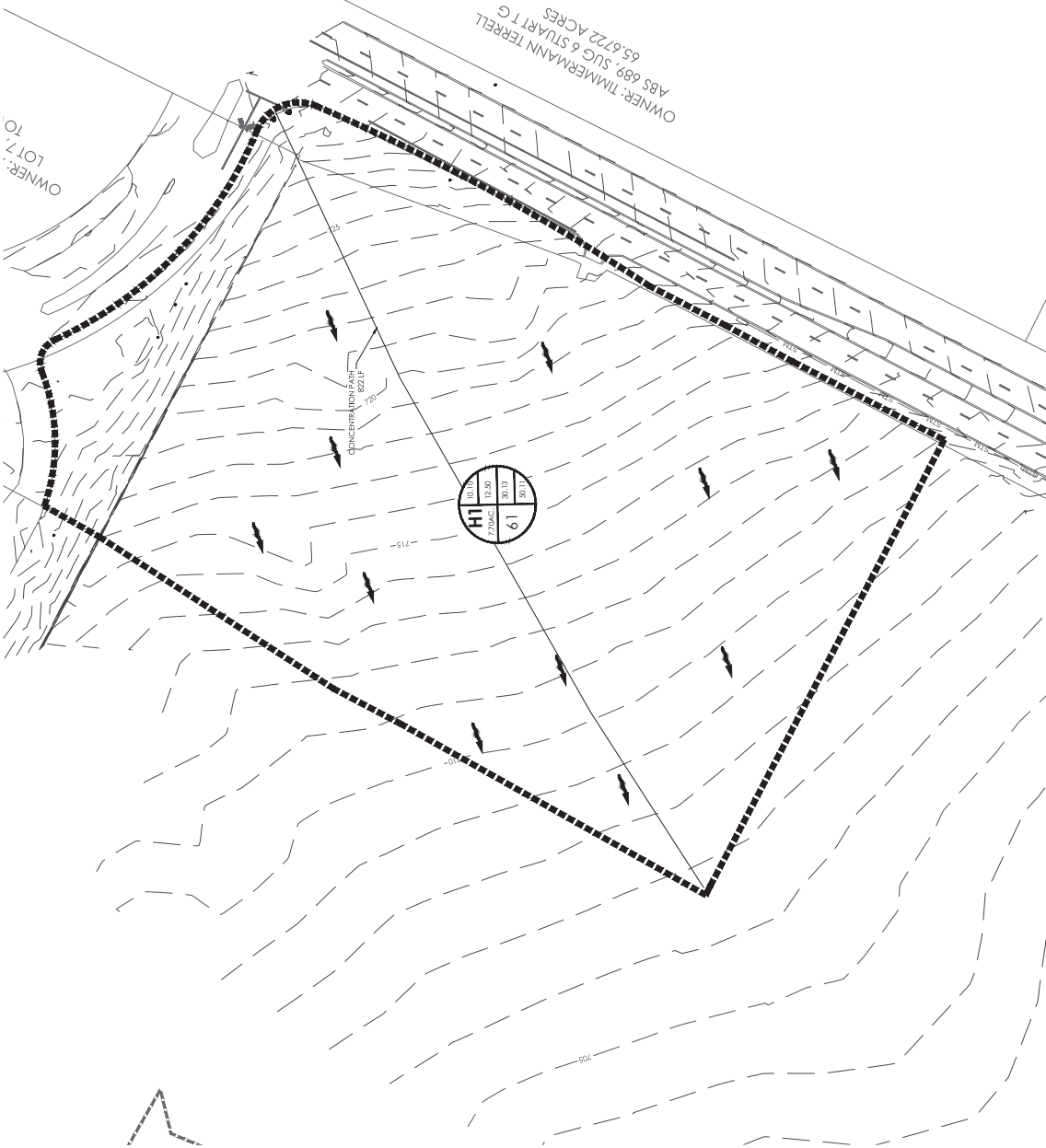
3. Connections to existing water mains shall be done via wet taps and not to disturb service down stream.

DRAWING SCALE & NORTH ARROW

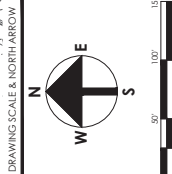
LEGEND

 EXISTING WATER SERVICE
 PROPOSED WATER SERVICE
 EXISTING CONTOUR
 PROPOSED CONTOUR
 EXISTING STORM SEWER
 PROPOSED STORM SEWER
 EXISTING SANITARY SEWER
 PROPOSED SANITARY SEWER
 EXISTING STORM MANHOLE
 PROPOSED STORM MANHOLE
 EXISTING SANITARY MANHOLE

PROPOSED SANITARY MANHOLE
EXISTING WATER VALVE
PROPOSED WATER VALVE
EXISTING FIRE HYDRANT
PROPOSED FIRE HYDRANT
PROPOSED WATER METER
PROPOSED LAMP POST
PROPOSED SIGN
EXISTING CONCRETE
PROPOSED CONCRETE



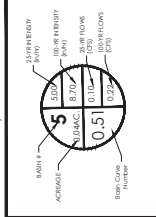
DRAWING SCALE & NORTH ARROW



HISTORIC DRAINAGE PLAN NOTES:

1. This plan was prepared by EVstudio Engineering, Inc. based on a survey by EVstudio Engineering, Inc. dated 9/19/14. Conflicts and/or errors to this plan are the responsibility of the client.
2. Historic drainage plan assumes that all remaining portions of the parent parcel and remain undisturbed and therefore are not included in this plan.
3. FEMA FLOODPLAIN NOTE: Block 1, of Terrell Timmermann Family Land Filing No. 1, is located outside of the FEMA floodplain limits. At a future date, the client should obtain a FEMA Floodplain Study to determine the base flood elevation for the property and the existing floodplain limits.

Basin Information Key:



TR55 Tc Worksheet				
Hyd. No. 1				
Historic Hydrograph				
Description				
Sheet Flow				
Manning's n-value	0.011	0.011	0.011	0.011
Two-year 24-hr event (in)	3.44	3.44	3.44	3.44
Time (min)	0.00	0.00	0.00	0.00
Travel Time (min)	0.00	0.00	0.00	0.00
Shallow Concentrated Flow				
Watercourse slope (%)	0.00	0.00	0.00	0.00
Watercourse slope (ft)	0.00	0.00	0.00	0.00
Watercourse slope (ft)	0.00	0.00	0.00	0.00
Watercourse slope (ft)	0.00	0.00	0.00	0.00
Travel Time (min)	0.00	0.00	0.00	0.00
Channel Flow				
Noted Perimeter (ft)	0.00	0.00	0.00	0.00
Noted Perimeter (ft)	0.00	0.00	0.00	0.00
Manning's n-value	0.015	0.015	0.015	0.015
Velocity (ft/s)	0.00	0.00	0.00	0.00
Flow length (ft)	0.00	0.00	0.00	0.00
Travel Time (min)	0.00	0.00	0.00	0.00
Total Travel Time, Tc	0.00	0.00	0.00	4.73 min

HISTORIC DRAINAGE				
DRAINAGE AREA	CURVE NUMBER	Tc (min)	Qc (cfs)	Qp (cfs)
H1	7.7	6.25	3.76	30.13

