

ENGINEER / SURVEYOR

10814 JOLLYVILLE ROAD
AVALLON IV, SUITE 200
AUSTIN, TEXAS 78759
PH. (512) 418-1771
CONTACT: ALEJANDRO E. GRANADOS RICO, P.E.

10101 REUNION PLACE
SUITE 400
SAN ANTONIO, 78216
PH. (210) 541-9166
CONTACT: JOHN G. MOSIER, R.P.L.S.

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS
REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN
REVIEWING THESE PLANS, THE CITY OF PFLUGERVILLE MUST
RELY ON THE ADEQUACY OF THE WORK OF THE DESIGN
ENGINEER.

OWNER/DEVELOPER

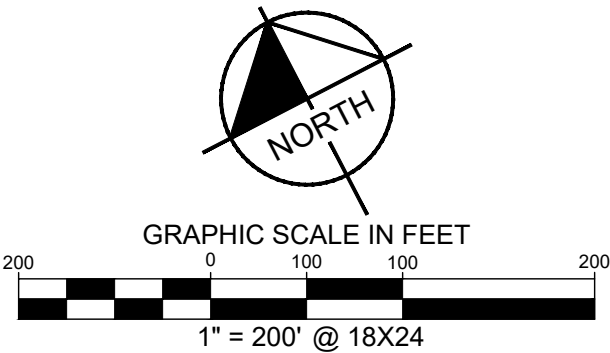
OWNER: TAYLOR MORRISON OF TEXAS, INC.
810 HESTERS CROSSING ROAD, SUITE 235
ROUND ROCK, TEXAS 78681

PARKLAND SUMMARY	
PHASE 1	
PARKLAND EQUATION = $6.6 \times (\text{RESIDENTIAL LOTS} \times 3 \text{ PERSONS PER RL})$	1,000
PARKLAND CALCULATION = $6.6 \times (224 \times 3)$	1,000
REQUIRED PHASE 1 PARKLAND ACREAGE	= 4.40 ACRES
DEDICATED PARKLAND BY PHASE 1 PLAT	= 0.00 ACRES
PHASE 2	
PARKLAND EQUATION = $6.6 \times (\text{RESIDENTIAL LOTS} \times 3 \text{ PERSONS PER RL})$	1,000
PARKLAND CALCULATION = $6.6 \times (76 \times 3)$	1,000
REQUIRED PHASE 2 PARKLAND ACREAGE	= 1.50 ACRES
DEDICATED PARKLAND BY PHASE 2 PLAT	= 19.825 ACRES
PHASE 3	
PARKLAND EQUATION = $6.6 \times (\text{RESIDENTIAL LOTS} \times 3 \text{ PERSONS PER RL})$	1,000
PARKLAND CALCULATION = $6.6 \times (119 \times 3)$	1,000
REQUIRED PHASE 3 PARKLAND ACREAGE	= 2.36 ACRES
DEDICATED PARKLAND BY PHASE 3 PLAT	= 10.803 ACRES
PHASE 4	
PARKLAND EQUATION = $6.6 \times (\text{RESIDENTIAL LOTS} \times 3 \text{ PERSONS PER RL})$	1,000
PARKLAND CALCULATION = $6.6 \times (54 \times 3)$	1,000
REQUIRED PHASE 4 PARKLAND ACREAGE	= 1.07 ACRES
DEDICATED PARKLAND BY PHASE 4 PLAT	= 0.00 ACRES
PHASE 5	
PARKLAND EQUATION = $6.6 \times (\text{RESIDENTIAL LOTS} \times 3 \text{ PERSONS PER RL})$	1,000
PARKLAND CALCULATION = $6.6 \times (132 \times 3)$	1,000
REQUIRED PHASE 5 PARKLAND ACREAGE	= 2.61 ACRES
DEDICATED PARKLAND BY THIS PLAT	= 0.00 ACRES
TOTAL REQUIRED PARKLAND ACREAGE	= 11.86 ACRES
TOTAL PARKLAND DEDICATED IN PH 1, PH 2, PH 3, PH 4, & PH 5	= 30.628 ACRES

SUBDIVISION SUMMARY	
LOT SUMMARY	
RESIDENTIAL LOT ACREAGE	= 20.469 ACRES
RESIDENTIAL LOT TOTAL	= 132 LOTS
HOA LOT ACREAGE	= 0.039 ACRES
HOA LOT TOTAL	= 1 LOT
LOT ACREAGE TOTAL	= 20.508 ACRES
LOT TOTAL	= 133 LOTS

SHEET INDEX

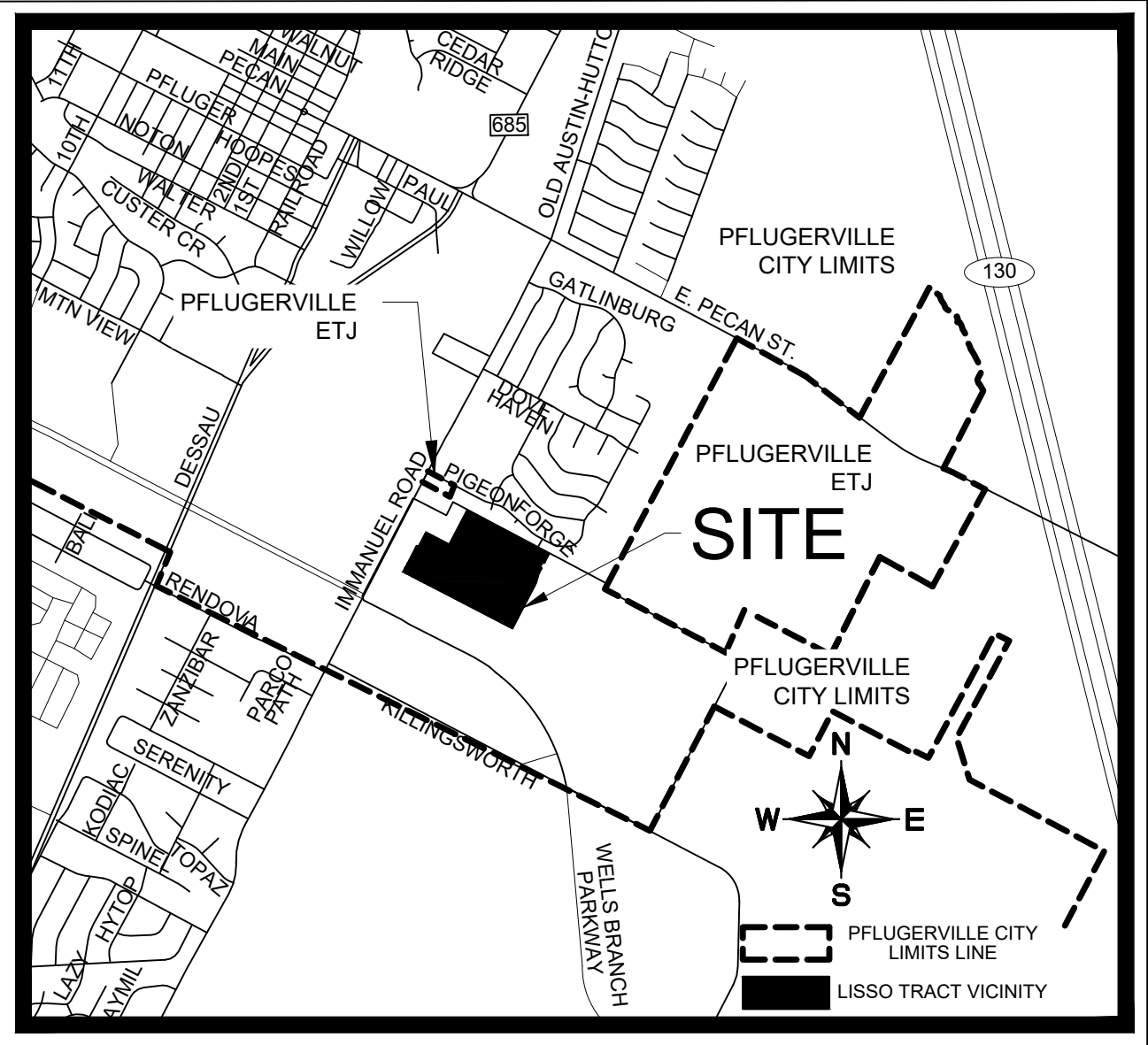
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	FINAL PLAT (SEE OVERALL PLAN FOR SHEET REFERENCE)
3	NOTES AND SIGNATURE PAGE SIGNATURE PAGE



OVERALL MAP

ROW SUMMARY	
50' ROW ACREAGE	= 4.424 ACRES
50' ROW LENGTH	= 3,896 FEET
TOTAL ROW ACREAGE	= 4.424 ACRES
TOTAL ROW LENGTH	= 3,896 FEET
TOTAL SUBDIVISION ACREAGE	= 24.927 ACRES

DATE OF PLAT PREPARATION: MAY 30, 2022
DATE OF PLAT SUBMITTAL: MAY 31, 2022



VICINITY MAP

SCALE: 1" = 2,000'

BENCH MARK LIST	
BM #101 "X" CUT SET ON AT THE BACK OF A CURB INLET ON THE SOUTHWEST SIDE OF WELLS BRANCH PARKWAY 32± NORTHWEST OF THE INTERSECTION OF WELLS BRANCH PARKWAY AND KILLINGSWORTH LANE	ELEV.=681.21' (NAVD '88)
BM #102 "X" CUT SET ON SOUTHWEST CORNER OF A CURB INLET ON THE SOUTH SIDE OF WELLS BRANCH PARKWAY 870± EAST OF THE INTERSECTION OF WELLS BRANCH PARKWAY AND IMMANUEL ROAD	ELEV.=677.55' (NAVD '88)

	LINEAR FEET OF ROADWAY	R.O.W. WIDTH (FEET)
BETSY STREET	743	50
LORANT LANE	831	50
WELSH MILLS	350	50
VANDERSLICE WAY	767	50
HOWTH WAY	766	50
CRUMPTON DRIVE	435	50

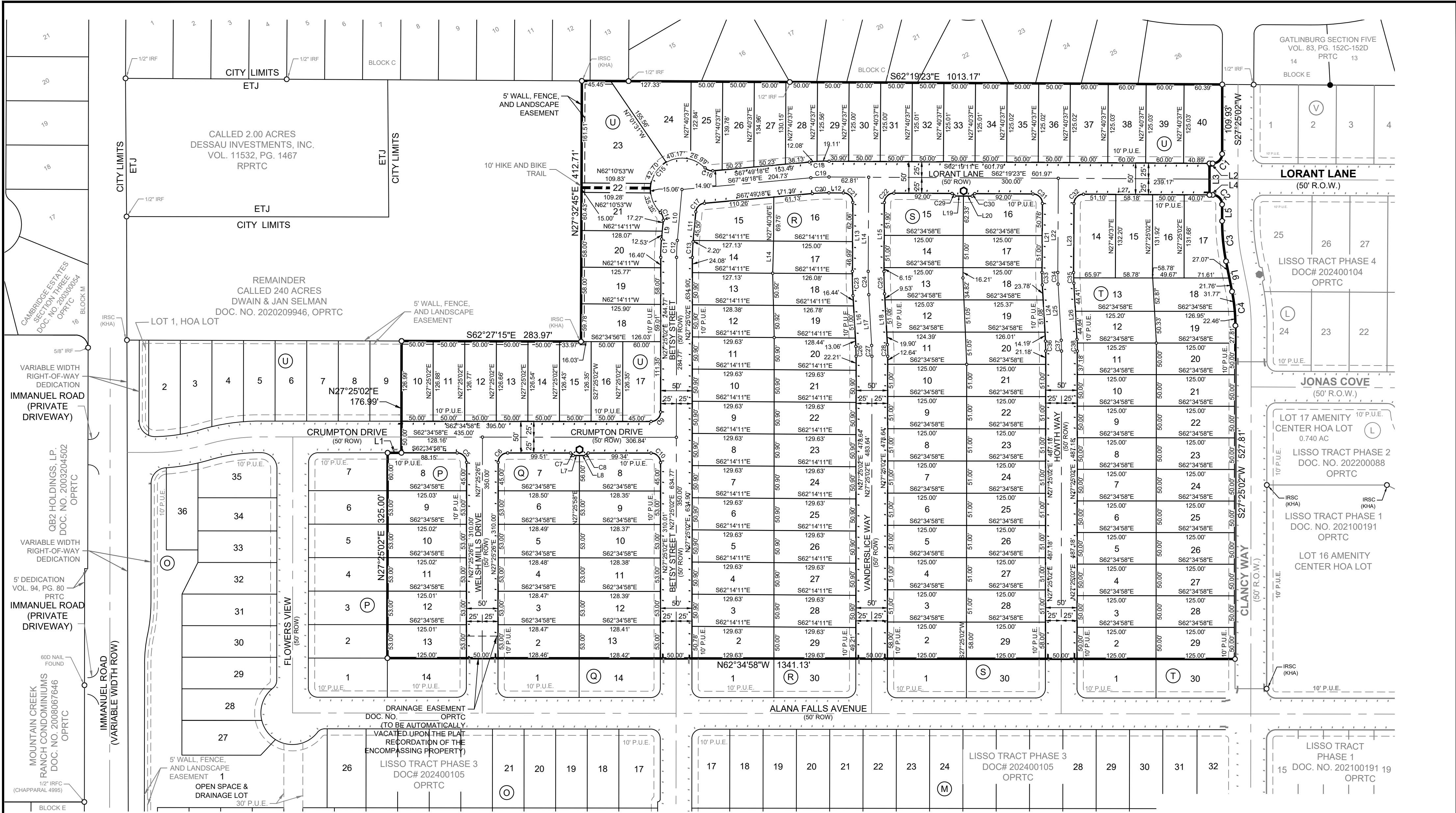
FINAL PLAT
OF
LISSO TRACT PHASE 5
24.927 ACRES

ALEXANDER WALTERS SURVEY NO. 67 SITUATED IN THE
CITY OF PFLUGERVILLE, TRAVIS COUNTY, TEXAS

Kimley»Horn

10101 Reunion Place, Suite 400
San Antonio, Texas 78216 FIRM # 10193973 Tel. No. (210) 541-9166
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 200'	DJG	JGM	09/10/2024	068705906	1 OF 3



LEGEND

○

IRSC

○

OPRTC

○

P.O.C.

○

P.O.B.

○

R.O.W.

○

D.E.

○

W.W.E.

○

STM S.E.

○

H.O.A.

○

P.U.E.

○

S.V.E.

○

4' SIDEWALK

○

10' HIKE AND BIKE TRAIL

○

BLOCK IDENTIFIER

○

MAIL BOX

○

1/2" IRON ROD W/ "KHA" CAP SET

○

1/2" IRON ROD FOUND W/ CAP

○

OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY TEXAS

○

POINT OF COMMENCING

○

POINT OF BEGINNING

○

RIGHT OF WAY

○

DRAINAGE EASEMENT

○

WASTEWATER EASEMENT

○

STORM SEWER EASEMENT

○

HOME OWNERS ASSOCIATION

○

PUBLIC UTILITY EASEMENT

○

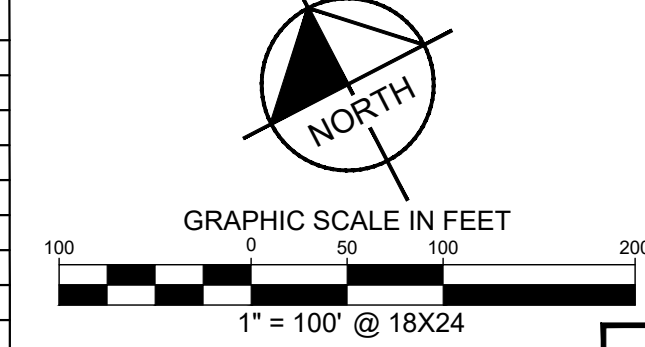
SIGHT VISIBILITY EASEMENT

LINE TABLE			LINE TABLE		
NO.	BEARING	LENGTH	NO.	BEARING	LENGTH
L1	S62°34'58"E	21.88'	L14	N28°52'49"E	50.91'
L2	N62°44'19"W	5.00'	L15	N27°40'37"E	109.05'
L3	S27°15'41"W	50.00'	L16	S24°09'14"W	80.50'
L4	S62°44'19"E	5.00'	L17	N24°09'14"E	80.50'
L5	S27°25'02"W	26.28'	L18	N24°09'14"E	80.50'
L6	S16°07'01"W	48.83'	L19	S62°19'23"E	14.00'
L7	S62°34'58"E	10.00'	L20	S62°19'23"E	14.00'
L8	S62°34'58"E	10.00'	L21	S27°40'37"W	109.05'
L9	N32°33'16"E	29.80'	L22	N27°40'37"E	149.05'
L10	N32°33'16"E	81.04'	L23	N27°40'37"E	109.05'
L11	N32°33'16"E	47.70'	L24	S24°09'14"W	89.05'
L12	S62°19'23"E	22.81'	L25	N24°09'14"E	89.05'
L13	S27°40'37"W	109.05'	L26	N24°09'14"E	89.05'
L14	N27°40'37"E	149.05'	L27	S62°18'46"E	199.35'

CURVE TABLE				
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING
C1	90°15'35"	15.00'	23.63'	S72°32'50"W
C2	89°44'25"	15.00'	23.49'	S17°27'10"E
C3	11°18'01"	325.00'	64.10'	S21°46'02"W
C4	11°18'01"	275.00'	54.24'	S21°46'02"W
C5	90°00'24"	15.00'	23.56'	S17°34'46"E
C6	89°59'36"	15.00'	23.56'	N72°25'14"E
C7	90°00'00"	4.00'	6.28'	S17°34'58"E
C8	90°00'00"	4.00'	6.28'	N72°25'02"E
C9	90°00'00"	15.00'	23.56'	N72°25'02"E
C10	90°00'00"	15.00'	23.56'	S17°34'58"E
C11	5°08'14"	325.00'	29.14'	N29°59'09"E
C12	5°08'14"	300.00'	26.90'	N29°59'09"E
C13	5°08'14"	275.00'	24.66'	N29°59'09"E
C14	52°01'12"	15.00'	13.62'	N06°32'40"E

CURVE TABLE				
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING
C15	183°39'51"	50.00'	160.28'	N72°21'59"E
C16	52°01'12"	15.00'	13.62'	S41°48'42"E
C17	79°37'26"	15.00'	20.85'	N72°21'59"E
C18	5°29'55"	325.00'	31.19'	S65°04'20"E
C19	5°29'55"	300.00'	28.79'	S65°04'20"E
C20	5°29'55"	275.00'	26.39'	S65°04'20"E
C21	90°00'00"	15.00'	23.56'	S17°19'23"E
C22	90°00'00"	15.00'	23.56'	N72°40'37"E
C23	3°31'23"	625.00'	38.43'	S25°54'55"W
C24	3°31'23"	600.00'	36.89'	N25°54'55"E
C25	3°31'23"	575.00'	35.36'	S25°54'55"W
C26	3°15'48"	275.00'	15.66'	S25°47'08"W
C27	3°15'48"	300.00'	17.09'	N25°47'08"E
C28	3°15'48"	325.00'	18.51'	N25°47'08"E

CURVE TABLE				
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING
C29	90°00'00"	4.00'	6.28'	S17°19'23"E
C30	90°00'00"	4.00'	6.28'	N72°40'37"E
C31	90°00'00"	15.00'	23.56'	S17°19'23"E
C32	90°00'00"	15.00'	23.56'	N72°40'37"E
C33	3°31'23"	325.00'	19.98'	S25°54'55"W
C34	3°31'23"	300.00'	18.45'	N25°54'55"E
C35	3°31'23"	275.00'	16.91'	N25°54'55"E
C36	3°15'48"	275.00'	15.66'	S25°47'08"W
C37	3°15'48"	300.00'	17.09'	N25°47'08"E
C38	3°15'48"	325.00'	18.51'	S25°47'08"W



**FINAL PLAT
OF
LISO TRACT PHASE 5
24.927 ACRES**

ALEXANDER WALTERS SURVEY NO. 67 SITUATED IN THE
CITY OF PFLUGERVILLE, TRAVIS COUNTY, TEXAS

Kimley»Horn

10101 Reunion Place, Suite 400
San Antonio, Texas 78216

FIRM # 10193973

Tel. No. (210) 541-9166
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	DJG	JGM	09/10/2024	068705906	2 OF 3

DATE OF PLAT PREPARATION: MAY 30, 2022
DATE OF PLAT SUBMITTAL: MAY 31, 2022

SURVEYOR'S CERTIFICATION:

STATE OF TEXAS §
COUNTY OF TRAVIS §

KNOW ALL MEN BY THESE PRESENTS:

THAT I, JOHN G. MOSIER, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE LAND, AND THAT ALL CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH ALL CITY OF PFLUGERVILLE, TEXAS CODES AND ORDINANCES AND THAT ALL KNOWN EASEMENTS WITHIN THE BOUNDARY OF THE PLAT ARE SHOWN HEREON.

PRELIMINARY

THIS DOCUMENT SHALL
NOT BE RECORDED FOR
ANY PURPOSE AND
SHALL NOT BE USED OR
VIEWED OR RELIED
UPON AS A FINAL
SURVEY DOCUMENT

JOHN G. MOSIER
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6330
KIMLEY-HORN AND ASSOCIATES, INC.
10101 REUNION PLACE, SUITE 400
SAN ANTONIO, TEXAS 78216
PH. 210-541-9166
greg.mosier@kimley-horn.com

ENGINEER'S CERTIFICATION:

NO PORTION THIS TRACT IS WITHIN THE BOUNDARIES OF THE 100-YEAR FLOOD PLAIN OF ANY WATERWAY THAT IS WITHIN THE LIMITS OF STUDY OF THE FEDERAL FLOOD INSURANCE ADMINISTRATION, FIRM PANEL NO.48453C0290J, EFFECTIVE 08/18/2014, FOR TRAVIS COUNTY, TEXAS.

PRELIMINARY

THIS DOCUMENT SHALL
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ANY PURPOSE AND
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UPON AS A FINAL
SURVEY DOCUMENT

ALEJANDRO E. GRANADOS RICO, P.E.

ENGINEERING BY:
KIMLEY-HORN
10814 JOLLYVILLE ROAD
BUILDING IV, SUITE NO. 200
AUSTIN, TEXAS 78759
PHONE: (512) 418-1771

STATE OF TEXAS §
COUNTY OF TRAVIS §

KNOW ALL MEN BY THESE PRESENTS:

THAT TAYLOR MORRISON OF TEXAS, INC. BEING OWNER OF 169.169 ACRES OF LAND OUT OF THE ALEXANDER WALTERS SURVEY NO. 67 SITUATED IN TRAVIS COUNTY, TEXAS. SAME BEING A PORTION OF A TRACT OF LAND, CALLED 169.169 ACRES, DESCRIBED IN INSTRUMENT RECORDED IN DOCUMENT NO. 2020223962, CORRECTED IN DOCUMENT NO 2022147166, BOTH OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS; DOES HEREBY SUBDIVIDE 24.927 ACRES OF LAND IN ACCORDANCE WITH THIS PLAT TO BE KNOWN AS LISSO TRACT PHASE 5, AND DO HEREBY DEDICATE TO THE PUBLIC THE USE OF ALL STREETS, ALLEYS, PARKS, AND EASEMENTS SHOWN HEREON.

WITNESS MY HAND, THIS THE ____ DAY OF _____, 202_ A.D.

BY: MICHAEL SLACK
VICE PRESIDENT, LAND DEVELOPMENT

STATE OF TEXAS §
COUNTY OF TRAVIS §

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT OR WRITING, ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

WITNESS MY HAND AND SEALED IN MY OFFICE, THIS THE ____ DAY OF _____, 202_ A.D.
NOTARY PUBLIC, STATE OF TEXAS

PRINTED NAME MY COMMISSION EXPIRES

APPROVED THIS ____ DAY OF ___, 202_ A.D. BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF PFLUGERVILLE, TEXAS ON BEHALF OF THE CITY.

JOHNATHAN COFFMAN, CHAIRMAN

THIS PLAT REFLECTS THE APPROVAL GRANTED BY THE PLANNING AND ZONING COMMISSION ON THE DATE INDICATED ABOVE.

JEREMY FRAZZELL, PLANNING & DEVELOPMENT SERVICES DIRECTOR

ATTEST:

TRISTA EVANS, CITY SECRETARY

THE STATE OF TEXAS §
COUNTY OF TRAVIS §

I, DYANA LIMON-MERCADO, CLERK OF TRAVIS COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE

ON THE ____ DAY OF _____, 202_ A.D., AT ____ O'CLOCK ____ M., DULY RECORDED ON THE ____ DAY OF _____, 202_ A.D., AT ____ O'CLOCK ____ M., OF SAID COUNTY AND STATE IN DOCUMENT NUMBER _____, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK, THE ____ DAY OF _____, 202_ A.D.

DEPUTY, COUNTY CLERK
TRAVIS COUNTY, TEXAS

BY DEPUTY

SURVEYOR'S NOTES

- THE BEARINGS, DISTANCES, AREAS AND COORDINATES SHOWN HEREON ARE TEXAS STATE COORDINATE SYSTEM GRID, CENTRAL ZONE (FIPS 4203) (NAD'83), AS DETERMINED BY THE GLOBAL POSITIONING SYSTEM (GPS).
- ALL DISTANCES AND COORDINATES SHOWN HEREON ARE ON THE GRID. THE UNIT OF LINEAR MEASUREMENT IS U.S. SURVEY FEET.
- ALL PROPERTY CORNERS OF THE LOTS IN THIS SUBDIVISION WILL BE MONUMENTED PRIOR TO LOTS SALES AND AFTER ROAD CONSTRUCTION WITH A 1/2-INCH IRON ROD WITH RED PLASTIC CAP STAMPED "KH", UNLESS OTHERWISE NOTED.

SINGLE FAMILY LOT TABLE

LOT TABLE		
LOT NO.	ACRES	SQ. FT.
BLOCK P LOT 8	0.171	7,454
BLOCK P LOT 9	0.152	6,626
BLOCK P LOT 10	0.152	6,626
BLOCK P LOT 11	0.152	6,626
BLOCK P LOT 12	0.152	6,625
BLOCK P LOT 13	0.152	6,625
BLOCK Q LOT 2	0.156	6,808
BLOCK Q LOT 3	0.156	6,809
BLOCK Q LOT 4	0.156	6,809
BLOCK Q LOT 5	0.156	6,810
BLOCK Q LOT 6	0.156	6,810
BLOCK Q LOT 7	0.175	7,619
BLOCK Q LOT 8	0.175	7,609
BLOCK Q LOT 9	0.156	6,803
BLOCK Q LOT 10	0.156	6,804
BLOCK Q LOT 11	0.156	6,805
BLOCK Q LOT 12	0.156	6,805
BLOCK Q LOT 13	0.156	6,806
BLOCK R LOT 2	0.150	6,532
BLOCK R LOT 3	0.151	6,598
BLOCK R LOT 4	0.151	6,598
BLOCK R LOT 5	0.151	6,598
BLOCK R LOT 6	0.151	6,598
BLOCK R LOT 7	0.151	6,598
BLOCK R LOT 8	0.151	6,598
BLOCK R LOT 9	0.151	6,598
BLOCK R LOT 10	0.151	6,598
BLOCK R LOT 11	0.151	6,598
BLOCK R LOT 12	0.151	6,566
BLOCK R LOT 13	0.149	6,503
BLOCK R LOT 14	0.149	6,493
BLOCK R LOT 15	0.181	7,905
BLOCK R LOT 16	0.214	9,306
BLOCK R LOT 17	0.147	6,390
BLOCK R LOT 18	0.147	6,422
BLOCK R LOT 19	0.149	6,495
BLOCK R LOT 20	0.151	6,585
BLOCK R LOT 21	0.151	6,598
BLOCK R LOT 22	0.151	6,598
BLOCK R LOT 23	0.151	6,598
BLOCK R LOT 24	0.151	6,598
BLOCK R LOT 25	0.151	6,598
BLOCK R LOT 26	0.151	6,598
BLOCK R LOT 27	0.151	6,598
BLOCK R LOT 28	0.151	6,598
BLOCK R LOT 29	0.148	6,430
BLOCK S LOT 2	0.166	7,250
BLOCK S LOT 3	0.146	6,375
BLOCK S LOT 4	0.146	6,375
BLOCK S LOT 5	0.146	6,375
BLOCK S LOT 6	0.146	6,375
BLOCK S LOT 7	0.146	6,375
BLOCK S LOT 8	0.146	6,375
BLOCK S LOT 9	0.146	6,375
BLOCK S LOT 10	0.146	6,375
BLOCK S LOT 11	0.146	6,342
BLOCK S LOT 12	0.146	6,360
BLOCK S LOT 13	0.146	6,379

LOT TABLE		
LOT NO.	ACRES	SQ. FT.
BLOCK S LOT 14	0.146	6,375
BLOCK S LOT 15	0.189	8,219
BLOCK S LOT 16	0.187	8,148
BLOCK S LOT 17	0.146	6,375
BLOCK S LOT 18	0.146	6,381
BLOCK S LOT 19	0.147	6,410
BLOCK S LOT 20	0.147	6,418
BLOCK S LOT 21	0.146	6,375
BLOCK S LOT 22	0.146	6,375
BLOCK S LOT 23	0.146	6,375
BLOCK S LOT 24	0.146	6,375
BLOCK S LOT 25	0.146	6,375
BLOCK S LOT 26	0.146	6,375
BLOCK S LOT 27	0.146	6,375
BLOCK S LOT 28	0.146	6,375
BLOCK S LOT 29	0.166	7,250
BLOCK T LOT 2	0.143	6,250
BLOCK T LOT 3	0.143	6,250
BLOCK T LOT 4	0.143	6,250
BLOCK T LOT 5	0.143	6,250
BLOCK T LOT 6	0.143	6,250
BLOCK T LOT 7	0.143	6,250
BLOCK T LOT 8	0.143	6,250
BLOCK T LOT 9	0.143	6,250
BLOCK T LOT 10	0.143	6,250
BLOCK T LOT 11	0.144	6,251
BLOCK T LOT 12	0.144	6,292
BLOCK T LOT 13	0.152	6,608
BLOCK T LOT 14	0.200	8,700
BLOCK T LOT 15	0.177	7,722
BLOCK T LOT 16	0.151	6,590
BLOCK T LOT 17	0.189	8,216
BLOCK T LOT 18	0.151	6,581
BLOCK T LOT 19	0.146	6,346
BLOCK T LOT 20	0.143	6,250
BLOCK T LOT 21	0.143	6,250
BLOCK T LOT 22	0.143	6,250
BLOCK T LOT 23	0.143	6,250
BLOCK T LOT 24	0.143	6,250
BLOCK T LOT 25	0.143	6,250
BLOCK T LOT 26	0.143	6,250
BLOCK T LOT 27	0.143	6,250
BLOCK T LOT 28	0.143	6,250
BLOCK T LOT 29	0.143	6,250
BLOCK U LOT 10	0.146	6,347
BLOCK U LOT 11	0.146	6,341
BLOCK U LOT 12	0.145	6,336
BLOCK U LOT 13	0.145	6,330
BLOCK U LOT 14	0.145	6,324
BLOCK U LOT 15	0.145	6,319
BLOCK U LOT 16	0.145	6,318
BLOCK U LOT 17	0.173	7,533
BLOCK U LOT 18	0.172	7,482
BLOCK U LOT 19	0.168	7,299
BLOCK U LOT 20	0.168	7,327
BLOCK U LOT 21	0.168	7,336
BLOCK U LOT 23	0.355	15,444
BLOCK U LOT 24	0.239	10,419

HOA LOT TABLE

LOT TABLE		
LOT NO.	ACRES	SQ. FT.
BLOCK U LOT 22	0.038	1,638

NOTES

- THIS PLAT LIES WITHIN THE CITY OF PFLUGERVILLE FULL PURPOSE JURISDICTION.
- WATER AND WASTEWATER SHALL BE PROVIDED BY CITY OF PFLUGERVILLE. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO WATER AND WASTEWATER FACILITIES.
- A 10 FT. PUBLIC UTILITY EASEMENT (P.U.E.) SHALL BE DEDICATED ALONG ALL STREET FRONTAGE(S).
- EASEMENT(S) DEDICATED TO THE PUBLIC BY THIS PLAT SHALL ALSO BE SUBJECT TO THE TERMS AND CONDITIONS OF THE ENGINEERING DESIGN MANUAL PER ORDINANCE NO. 1206-15-02-24. THE GRANTOR TAYLOR MORRISON OF TEXAS, INC., HEIRS, SUCCESSORS AND ASSIGNS SHALL RETAIN THE OBLIGATION TO MAINTAIN THE SURFACE OF THE EASEMENT PROPERTY, INCLUDING THE OBLIGATION TO REGULARLY MOW OR CUT BACK VEGETATION AND TO KEEP THE SURFACE OF THE EASEMENT PROPERTY FREE OF LITTER, DEBRIS, AND TRASH.
- NO IMPROVEMENTS INCLUDING BUT NOT LIMITED TO STRUCTURES, FENCES, OR LANDSCAPING SHALL BE ALLOWED IN A PUBLIC EASEMENT, EXCEPT AS APPROVED BY THE CITY.
- THE PROPERTY OWNER SHALL PROVIDE ACCESS TO DRAINAGE AND UTILITY EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS FOR THE PLACEMENT, CONSTRUCTION, INSTALLATION, REPLACEMENT, REPAIR, MAINTENANCE, RELOCATION, REMOVAL, OPERATION AND INSPECTION OF SUCH DRAINAGE AND UTILITY FACILITIES, AND RELATED APPURTENANCES.
- A MINIMUM OF A 4-FT. WIDE PUBLIC SIDEWALK SHALL BE PROVIDED ON BOTH SIDES OF ALL LOCAL STREETS.
- STREETLIGHTS SHALL BE INSTALLED AND IN FULL WORKING ORDER WITH THE PUBLIC IMPROVEMENTS. ALL STREETLIGHTS SHALL BE IN CONFORMANCE WITH ALL CITY OF PFLUGERVILLE ORDINANCES INCLUDING BUT NOT LIMITED TO BEING DOWNCAST AND FULL CUT OFF TYPE.
- THIS SUBDIVISION IS SUBJECT TO ALL CITY OF PFLUGERVILLE ORDINANCES OR TECHNICAL MANUALS RELATED TO TREE PRESERVATION PER CITY ORDINANCE #1203-15-02-24 AND CITY RESOLUTION #1224-09-08-25-8A.
- WHERE APPLICABLE, THE PUBLIC PARKLAND DEDICATION AND PARK DEVELOPMENT FEE SHALL BE CALCULATED AT A RATE REQUIRED BY CITY ORDINANCE #1203-15-02-24.
- THE COMMUNITY IMPACT FEE RATE FOR WATER AND WASTEWATER IS HEREBY ASSESSED AND ESTABLISHED ACCORDING TO THE CITY OF PFLUGERVILLE ORDINANCE #1440-20-04-14. COMMUNITY IMPACT FEES FOR INDIVIDUAL LOTS SHALL BE PAID PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT.
- THIS SUBDIVISION SHALL MITIGATE POST-DEVELOPMENT PEAK RUNOFF RATES FOR THE 2 YEAR, 25 YEAR AND 100 YEAR STORM EVENTS.
- ALL ELECTRIC UTILITY INFRASTRUCTURE INCLUDING BUT NOT LIMITED TO TELEPHONE, CABLE, TELEVISION, ELECTRIC UTILITY LATERAL AND SERVICE LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF PFLUGERVILLE ENGINEERING DESIGN MANUAL AS AMENDED.
- THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF PFLUGERVILLE.
- CONSTRUCTION PLANS AND SPECIFICATIONS FOR ALL SUBDIVISION IMPROVEMENTS SHALL BE REVIEWED AND APPROVED BY THE CITY OF PFLUGERVILLE PRIOR TO ANY CONSTRUCTION WITHIN THE SUBDIVISION.
- ALL PROPOSED FENCES AND WALLS ADJACENT TO INTERSECTING PUBLIC RIGHT-OF-WAY OR ADJACENT TO PRIVATE ACCESS DRIVES SHALL BE IN COMPLIANCE WITH THE SIGHT DISTANCE REQUIREMENTS OF THE CITY OF PFLUGERVILLE ENGINEERING DESIGN MANUAL, AS AMENDED.
- WASTEWATER AND WATER SYSTEMS SHALL CONFORM TO TCEQ (TEXAS COMMISSION ON ENVIRONMENTAL QUALITY) AND STATE BOARD OF INSURANCE REQUIREMENTS. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR RE-PLATTING MAY BE REQUIRED AT THE OWNER'S SOLE EXPENSE IF PLANS TO DEVELOP THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.
- THE HOA WILL OWN AND MAINTAIN THE FOLLOWING LOT: LOT 22 - BLOCK U.
- THE ACCESSED ROADWAY IMPACT FEE IS HEREBY ASSESSED AND ESTABLISHED ACCORDING TO THE CITY OF PFLUGERVILLE ORDINANCE NO. 1470-20-11-24. ROADWAY IMPACT FEES WILL BE PAID PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT.

FINAL PLAT
OF
LISSO TRACT PHASE 5
24.927 ACRES

ALEXANDER WALTERS SURVEY NO. 67 SITUATED IN THE
CITY OF PFLUGERVILLE, TRAVIS COUNTY, TEXAS

Kimley»Horn

10101 Reunion Place, Suite 400
San Antonio, Texas 78216 FIRM # 10193973 Tel. No. (210) 541-9166
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	DJG	JGM	09/10/2024	068705906	3 OF 3

DWG NAME: K:\SNA_SURVEY\068705906-LISSO TRACT\DWG\PLAT\LISSO PHASE 5 PLAT 2024-09-09.DWG PLOTTED BY: GONZALEZ, DAVID 9/10/2024 9:25 AM LAST SAVED: 9/10/2024 9:23 AM