

CARRINGTON COURT

ALUR

EXHIBIT A	LEGAL DESCRIPTION OF THE LAND
EXHIBIT B	ALUR DEVELOPMENT CODE
EXHIBIT C	ALUR REGULATING PLAN
EXHIBIT D	OPEN SPACE ILLUSTRATIVE PLAN
EXHIBIT E	BUILDING ELEVATIONS

Pflugerville, Texas

CARRINGTON COURT
LEGAL DESCRIPTION OF THE LAND

EXHIBIT A

Pflugerville, Texas



FIELD NOTES

FOR

An 18.938 acre, or 824,953 square feet more or less, tract of land being out of the remaining portion of a 49.815 acre tract, recorded in Volume 12579, Pages 348-363 of the Official Public Records of Travis County, Texas, out of the John Van Winkle Survey No. 14, Abstract 786, in the City of Pflugerville, Travis County, Texas. Said 18.938 acre tract being more fully described as follows, with bearings based on the North American Datum of 1983 (CORS 1996), from the Texas Coordinate System established for the Central Zone:

- BEGINNING: At a found ½" iron rod, on the southeast right-of-way line of Heatherwilde Blvd., a variable width right-of-way, the west corner of Lot 1, of the Amended Plat of Heatherwilde Villas Final Plat recorded in Document No. 200200279 of the Official Public Records of Travis County, Texas, the north corner of said remaining portion of a 49.815 acre tract;
- THENCE: S 62°22'38" E, along and with the southwest line of said Lot 1, the northeast line of said remaining portion of a 49.815 acre tract, a distance of 829.34 feet to a found ½" iron rod with a cap marked "Bury & Partners", on the northwest line of a 31.58 acre tract recorded in Document No. 2000159586 of the Official Public Records of Travis County, Texas, the south corner of said Lot 1, the east corner of said remaining portion of a 49.815 acre tract;
- THENCE: S 27°37'46" W, along and with the northwest line of said 31.58 acre tract, the southeast line of said remaining portion of a 49.815 acre tract, a distance of 1204.91 feet to a found 5/8" iron rod, the east corner of Lot 1 of the Heatherwilde Commercial, Sec. 1 recorded in Volume 86, Page 123B in the Plat Records of Travis County, Texas, the south corner of said remaining portion of a 49.815 acre tract;
- THENCE: N 62°22'08" W, departing the northwest line of said 31.58 acre tract, along and with the northeast line of said Lot 1 of the Heatherwilde Commercial, Sec. 1, a southwest line of said remaining portion of a 49.815 acre tract, a distance of 273.77 feet to a found ½" iron rod, the south corner of Lot 2, Block 1 of the Final Plat of Heatherwilde Professional Park Subdivision recorded in Document No. 201200012 of the Official Public Records of Travis County, Texas, a west corner of said remaining portion of a 49.815 acre tract;
- THENCE: N 27°37'25" E, departing the northeast line of said Lot 1 of the Heatherwilde Commercial, Sec. 1, along and with a southeast line of said Lot 2, Block 1, a northwest line of said remaining portion of a 49.815 acre tract, a distance of 24.83 feet to a found ½" iron rod, an east corner of said Lot 2, Block 1, an interior corner of said remaining portion of a 49.815 acre tract;

THENCE: N 62°22'35" W, along and with a northeast line of said Lot 2, Block 1, a southwest line of said remaining portion of a 49.815 acre tract, a distance of 76.23 feet to a found ½" iron rod, an interior corner of said Lot 2, Block 1, a west corner of said remaining portion of a 49.815 acre tract;

THENCE: N 27°37'46" E, along and with a southeast line of said Lot 2, Block 1, a northwest line of said remaining portion of a 49.815 acre tract, a distance of 305.00 feet to a found ½" iron rod, an east corner of said Lot 2, Block 1, an interior corner of said remaining portion of a 49.815 acre tract;

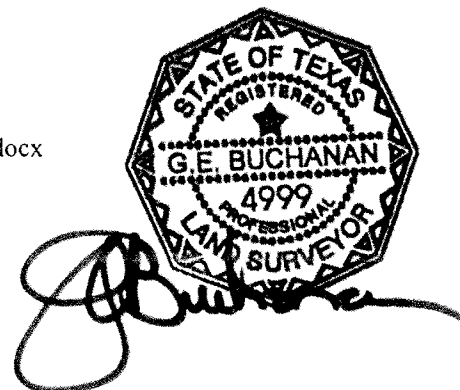
THENCE: N 62°22'35" W, along and with a northeast line of said Lot 2, Block 1, a southwest line of said remaining portion of a 49.815 acre tract, at a distance of 199.56 feet passing the east corner of Lot 1, Block 1 of the said Final Plat of Heatherwilde Professional Park Subdivision, a north corner of said Lot 2, Block 1, continuing along and with a southwest line of said remaining portion of a 49.815 acre tract, the northeast line of said Lot 1, Block 1 for a total distance of 461.50 feet to a found ½" iron rod with a cap marked "Holt & Carson", on the southeast right-of-way line of the aforementioned Heatherwilde Blvd., the north corner of said Lot 1, Block 1, a west corner of said remaining portion of a 49.815 acre tract;

THENCE: Along and with the southeast right-of-way line of said Heatherwilde Blvd., a northwest line of said remaining portion of a 49.815 acre tract, the following calls and distances:

N 27°39'43" E, a distance of 625.69 feet to a found ½" iron rod, a point of curvature;

Northeasterly, along a tangent curve to the left, said curve having a radius of 1704.85 feet, a central angle of 08°24'34", a chord bearing and distance of N 23°27'26" E, 250.00 feet, for an arc length of 250.23 feet to the POINT OF BEGINNING, and containing 18.938 acres in the City of Pflugerville, Travis County, Texas. Said tract being described in accordance with a survey made on the ground and a survey description and map prepared under job number 59003-13 by Pape-Dawson Engineers, Inc.

PREPARED BY: Pape-Dawson Engineers, Inc.
DATE: February 20, 2013
REVISED: March 20, 2013
JOB NO. 59003-13
DOC. ID. N:\AUSTIN\59003-13\WORD\59003-13FN.docx



NOTES:

- 1) 1/4" IRON ROD WITH YELLOW CAP MARKED "PAPE-DAWSON" SET AT SUBJECT PROPERTY CORNERS UNLESS NOTED OTHERWISE.
2) FIELD BEARINGS FOR THIS SURVEY ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD 83 (NAD2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE CENTRAL ZONE.
3) THE ELEVATIONS FOR THIS SURVEY ARE BASED ON ASSUMED NAVD83 (GEOID03).
4) ILLUSTRATED UTILITIES ARE BASED ON FOUND VISIBLE EVIDENCE. THE LOCATION AND DEPTH OF EXISTING UTILITIES SHOULD BE FIELD VERIFIED BEFORE CONSTRUCTION. THE SURVEYOR DOES NOT HAVE KNOWLEDGE AS TO THE AVAILABILITY OF SERVICE TO, OR THE STATUS OF THE UTILITIES ON THIS SITE.
5) THE PROFESSIONAL SERVICES PROVIDED HEREWITH INCLUDE THE PREPARATION OF A FIELD NOTE DESCRIPTION.
6) THE SUBJECT PROPERTY IS WITHIN THE FOLLOWING FLOOD ZONES AS DEPICTED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP NUMBER 4543C0260J DATED SEPTEMBER 26, 2008 FOR TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS. THIS DATA IS AVAILABLE ON THE WEBSITE WWW.MSCFEMA.GOV.
ZONEX (UNSHADED), DEFINED AS: "OTHER AREAS; AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN."
7) FLOOD LIMIT LINES DO NOT REPRESENT THAT THE PROPERTY WILL OR WILL NOT FLOOD. SUCH LINES AND AREAS ARE FROM SAID FEDERAL EMERGENCY MANAGEMENT AGENCY DATA SOURCES AND ARE STATISTICAL ONLY. THE SURVEYOR ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SAID DATA.
8) THE SUBJECT PROPERTY IS ALSO AFFECTED BY THE FOLLOWING EFFECTIVE LETTERS OF MAP REVISION (L.O.M.R.) OR EFFECTIVE LETTERS OF MAP CHANGE (L.O.M.C.) AS FOUND ON THE WEBSITE WWW.MSCFEMA.GOV AND VERIFIED BY DATA REVIEW OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) ONLINE PUBLIC REPORTS AT HTTPS://FEMA.GOV/FEMAPORTAL/PORTAL. ON FEBRUARY 20, 2013. THE APPROXIMATE LIMITS OF THE F.E.M.A. ZONES SHOWN ON THIS PLAT HAVE BEEN REVISED TO REFLECT THE FOLLOWING EFFECTIVE L.O.M.R. OR L.O.M.C. LISTED: CASE NUMBER: 09-06-1373; EFFECTIVE DATE: NOVEMBER 30, 2009.

FIELD NOTES FOR

An 18,938 acre, or 824,953 square feet more or less, tract of land being out of the remaining portion of a 49,815 acre tract, recorded in Volume 12579, Pages 348-363 of the Official Public Records of Travis County, Texas, out of the John Van Winkle Survey No. 14, Abstract 786, in the City of Pflugerville, Travis County, Texas. Said 18,938 acre tract being more fully described as follows, with bearings based on the North American Datum of 1983 (NAD 83), from the Texas Coordinate System established for the Central Zone:
BEGINNING: At a found 1/2" iron rod, on the southeast right-of-way line of Heatherwilde Blvd., a variable width right-of-way, the west corner of Lot 1, of the Amended Plat of Heatherwilde Professional Park Subdivision recorded in Document No. 200105566 of the Official Public Records of Travis County, Texas, the north corner of said remaining portion of a 49,815 acre tract;
THENCE: S 62°22'38" E, along and with the southwest line of said Lot 1, the northeast line of said remaining portion of a 49,815 acre tract, a distance of 823.34 feet to a found 1/2" iron rod with a cap marked "Bury & Partners", on the southwest line of a 31.58 acre tract recorded in Document No. 200105566 of the Official Public Records of Travis County, Texas, the south corner of said Lot 1, the east corner of said remaining portion of a 49,815 acre tract;
THENCE: S 27°37'46" W, along and with the northwest line of said 31.58 acre tract, the southeast line of said remaining portion of a 31.58 acre tract, a distance of 1204.91 feet to a found 5/8" iron rod, the east corner of Lot 1 of the Heatherwilde Commercial, Sec. 1 recorded in Volume 86, Page 123B in the Plat Records of Travis County, Texas, the south corner of said remaining portion of a 49,815 acre tract;

THENCE: N 62°22'08" W, departing the northwest line of said 31.58 acre tract, along and with the northeast line of Lot 1 of the Heatherwilde Commercial, Sec. 1, a southeast line of said remaining portion of a 49,815 acre tract, a distance of 273.77 feet to a found 1/2" iron rod, the south corner of Lot 2, Block 1, of the Final Plat of Heatherwilde Professional Park Subdivision recorded in Document No. 201200012 of the Official Public Records of Travis County, Texas, a west corner of said remaining portion of a 49,815 acre tract;
THENCE: N 27°37'25" E, departing the northeast line of said Lot 1 of the Heatherwilde Commercial, Sec. 1, along and with a southeast line of said Lot 2, Block 1, a northwest line of said remaining portion of a 49,815 acre tract, a distance of 248.3 feet to a found 1/2" iron rod, an east corner of said Lot 2, Block 1, an interior corner of said remaining portion of a 49,815 acre tract;
THENCE: N 62°22'35" W, along and with a northeast line of said Lot 2, Block 1, a southwest line of said remaining portion of a 49,815 acre tract, a distance of 199.56 feet passing the east corner of Lot 1, Block 1 of the said Final Plat of Heatherwilde Professional Park Subdivision, a north corner of said Lot 2, Block 1, continuing along and with a southeast line of said remaining portion of a 49,815 acre tract, the northeast line of said Lot 1, Block 1 for a total distance of 461.50 feet to a found 1/2" iron rod with a cap marked "Holt & Carson", on the southeast right-of-way line of the aforementioned Heatherwilde Blvd., the north corner of said Lot 1, Block 1, a west corner of said remaining portion of a 49,815 acre tract;
THENCE: N 27°39'43" E, along and with a southeast line of said Lot 2, Block 1, a northwest line of said remaining portion of a 49,815 acre tract, a distance of 305.00 feet to a found 1/2" iron rod, an east corner of said Lot 2, Block 1, an interior corner of said remaining portion of a 49,815 acre tract;

THENCE: N 27°37'46" E, along and with a southeast line of said Lot 2, Block 1, a northwest line of said remaining portion of a 49,815 acre tract, a distance of 305.00 feet to a found 1/2" iron rod, an east corner of said Lot 2, Block 1, an interior corner of said remaining portion of a 49,815 acre tract;
THENCE: N 62°22'35" W, along and with a northeast line of said Lot 2, Block 1, a southwest line of said remaining portion of a 49,815 acre tract, a distance of 199.56 feet passing the east corner of Lot 1, Block 1 of the said Final Plat of Heatherwilde Professional Park Subdivision, a north corner of said Lot 2, Block 1, continuing along and with a southeast line of said remaining portion of a 49,815 acre tract, the northeast line of said Lot 1, Block 1 for a total distance of 461.50 feet to a found 1/2" iron rod with a cap marked "Holt & Carson", on the southeast right-of-way line of the aforementioned Heatherwilde Blvd., the north corner of said Lot 1, Block 1, a west corner of said remaining portion of a 49,815 acre tract;
THENCE: N 27°39'43" E, along and with a southeast line of said Lot 2, Block 1, a northwest line of said remaining portion of a 49,815 acre tract, the following calls and distances: N 27°39'43" E, a distance of 625.69 feet to a found 1/2" iron rod, a point of curvature; Northeasterly, along a tangent curve to the left, said curve having a radius of 1704.85 feet, a central angle of 08°24'34", a chord bearing of N 23°27'26" E, 250.00 feet, for an arc length of 250.23 feet to the POINT OF BEGINNING, and containing 18,938 acres in the City of Pflugerville, Travis County, Texas. Said tract being described in accordance with a survey made on the ground and a survey description and map prepared under job number 59003-13 by Pape-Dawson Engineers, Inc.

LEGEND

- CATV. CONC. ELEC. FD. I.R. (FD)
CABLE TELEVISION
CONCRETE
ELECTRIC
FOUND
1/2" IRON ROD
PAPE-DAWSON CAP
103 GRID
N 101,138,647.1
E 3,146,114.1244
SURFACE
N 101,386,675.1000
E 3,146,926.4019
SURFACE
N 101,387,510.00
E 3,145,536.2246
SURFACE
ELEV.=775.24

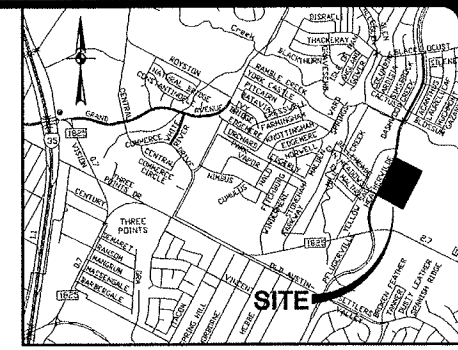
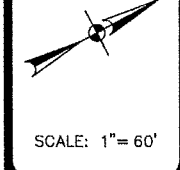
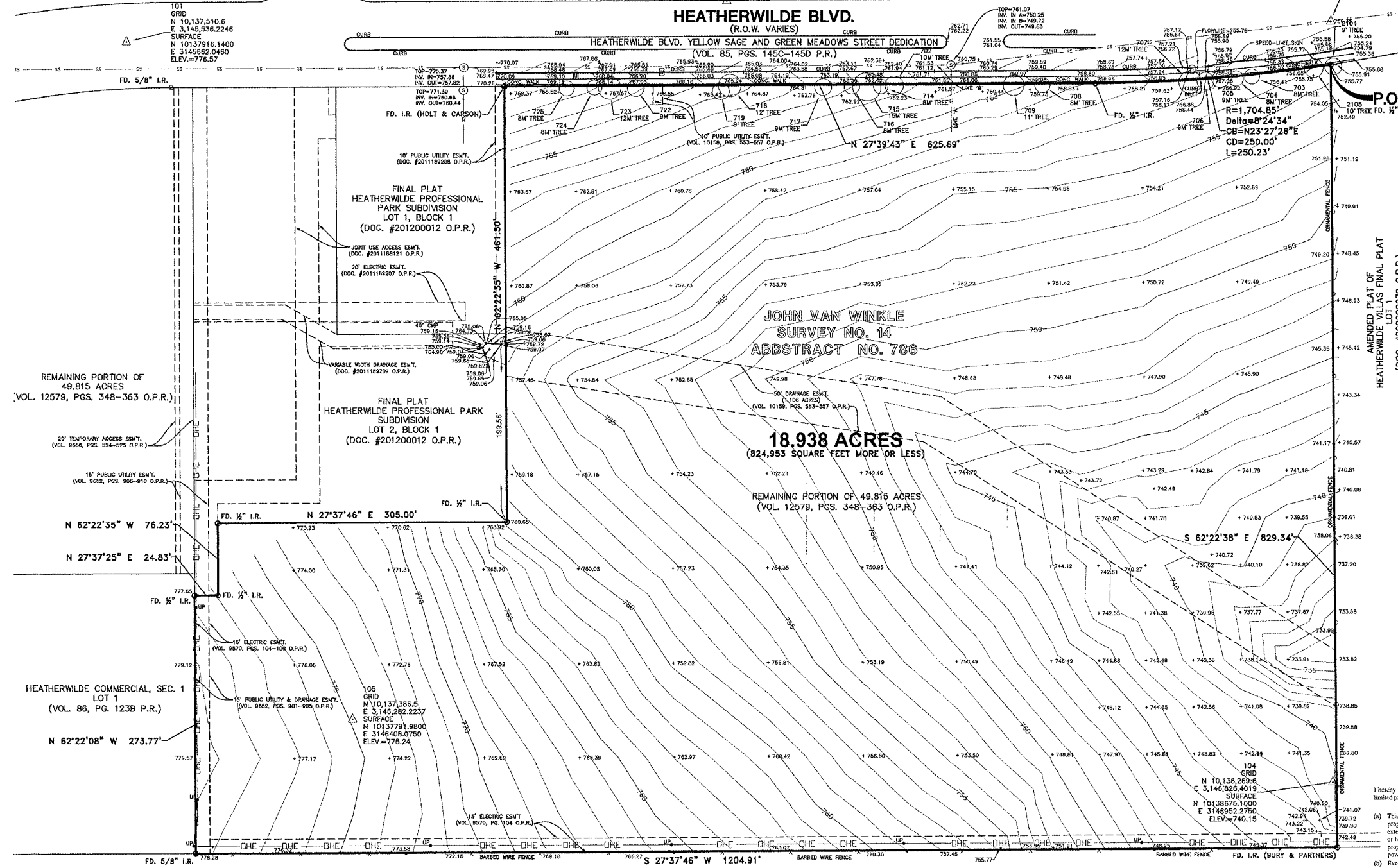


Table with columns: NO., REVISION, DATE, DESCRIPTION. Contains revision history information.



REFERENCES:

- This survey was prepared in conjunction with, but not solely relying on, the Title Commitment listed below.
Title Commitment: G.E. #141-130200627-453 DHJ Title of Central Texas
Date Issued: March 7, 2013
Effective Date: February 27, 2013
Only those matters identified in the Title Commitment and those that the surveyor was aware of at the time of this survey are shown.
1. Volume 12973, Page 1821; Volume 13176, Page 3547; and Volume 13176, Page 3560 of the Real Property Records of Travis County, Texas. (Does not Apply)
2. Electric transmission and distribution easement, together with all rights conveyed therein, granted to Texas Power & Light Company as described by instrument recorded in Volume 471, Page 285, of the Deed Records of Travis County, Texas. (Applies) (Blank)
3. Electric transmission and distribution easement, together with all rights conveyed therein, granted to Texas Power & Light Company as described by instrument recorded in Volume 550, Page 422, of the Deed Records of Travis County, Texas, and as may be affected by instrument recorded in Volume 11802, Page 1624, Real Property Records of Travis County, Texas. (Unable to plot)
4. Electric transmission and distribution easement, together with all rights conveyed therein, granted to Texas Power & Light Company as described by instrument recorded in Volume 554, Page 135, of the Deed Records of Travis County, Texas. (Applies) (Unable to plot)
5. Electric transmission and distribution easement, together with all rights conveyed therein, granted to Texas Power & Light Company as described by instrument recorded in Volume 556, Page 151, of the Deed Records of Travis County, Texas. (Applies) (Blank)
6. Electric transmission and distribution easement, together with all rights conveyed therein, granted to Texas Power & Light Company as described by instrument recorded in Volume 556, Page 207, of the Deed Records of Travis County, Texas. (Applies) (Blank)
7. Chancel easement, together with all rights conveyed therein, granted to the State of Texas as described by instrument recorded in Volume 1317, Page 19, of the Deed Records of Travis County, Texas. (Does not Apply)
8. Boundary Line Agreement by and between Vista Mortgage and Realty, Inc., a Delaware Corp. and Three D Venture, a Texas joint venture, dated 03/28/05, recorded in Volume 9100, Page 762, Real Property Records, Travis County, Texas. (Does not Apply)
9. Electrical easement granted to Texas Power & Light Company, by instrument dated February 13, 1986, recorded in Volume 9570, Page 104 of the Real Property Records of Travis County, Texas. (Applies)
10. Public utility and drainage easement granted to Texas Power & Light Company, by instrument dated April 14, 1986, recorded in Volume 9652, Page 901 of the Real Property Records of Travis County, Texas. (Applies)
11. Public utility easement granted to Texas Power & Light Company by instrument dated April 14, 1986, recorded in Volume 9652, Page 906 of the Real Property Records of Travis County, Texas. (Does not Apply)
12. Terms, provisions and conditions of that Reciprocal Access Easement Agreement dated April 21, 1986, recorded in Volume 9666, Page 524 of the Real Property Records of Travis County, Texas, and as affected by Modifications recorded in Document Nos. 2008116051 and 2011188121, Official Public Records of Travis County, Texas. (Does not Apply)
13. Terms, provisions and conditions of that Agreement for Landscape Liability and Maintenance of Public Right-of-Way, recorded in Volume 13005, Page 286 of the Real Property Records of Travis County, Texas. (Applies)
14. The terms, conditions and stipulations set out in that certain Contract as evidenced by Memorandum dated May 29, 2003, recorded under Document No. 2003387958 of the Official Public Records of Travis County, Texas. (Description not provided)
15. Lift Station and Access Road easement granted to Windermere Utility Company, recorded in Volume 9087, Page 663, Real Property Records, and as corrected by instrument recorded in Volume 9350, Page 830, Real Property Records, Travis County, Texas. (Does not Apply)
16. Utility easement granted to Windermere Utility Company, recorded in Volume 9087, Page 673, Real Property Records, and as corrected by instrument recorded in Volume 9350, Page 830, Real Property Records, Travis County, Texas. (Does not Apply)
17. Utility easement granted to Windermere Utility Company, recorded in Volume 9087, Page 676, Real Property Records, and as corrected by instrument recorded in Volume 9350, Page 830, Real Property Records, Travis County, Texas. (Does not Apply)
18. Utility easement granted to Windermere Utility Company, recorded in Volume 9087, Page 668, Real Property Records, and as corrected by instrument recorded in Volume 9350, Page 874, Real Property Records, Travis County, Texas. (Does not Apply)
19. Utility easement granted to Windermere Utility Company, recorded in Volume 9087, Page 668, Real Property Records, and as corrected by instrument recorded in Volume 9350, Page 874, Real Property Records, Travis County, Texas. (Does not Apply)
20. Sanitary sewer easement granted to Windermere Utility Company, recorded in Volume 9606, Page 435, Real Property Records, Travis County, Texas. (Does not Apply)
21. Underground Telecommunication systems and line easement granted to Southwestern Bell Telephone Company, recorded in Volume 9612, Page 244, Real Property Records, Travis County, Texas. (Does not Apply)
22. Electrical easement granted to Texas Power & Light Company, recorded in Volume 10159, Page 553, Real Property Records, Travis County, Texas. (Applies)
23. Terms, conditions and stipulations regarding easements granted and/or reserved as set forth in that certain Special Warranty Deed dated June 30, 2008, recorded under Document No. 2008116052 of the Official Public Records of Travis County, Texas. (Does not Apply)
24. Drainage Easement Agreement dated February 25, 2009 as described by instrument recorded under Document No. 2009031596 and as affected by Document No. 2011189209, Official Public Records of Travis County, Texas. (Applies)
25. Easement and Right Of Way dated December 20, 2011, as described by instrument recorded under Document No. 2011189207, Official Public Records of Travis County, Texas. (Does not Apply)
26. Public Utility Easement dated December 20, 2010 and recorded on December 27, 2011, as described by instrument recorded under Document No. 2011189208, Official Public Records of Travis County, Texas. (Does not Apply)
27. Waterline Easement dated December 20, 2010 and recorded on December 27, 2011, as described by instrument recorded under Document No. 2011189210, Official Public Records of Travis County, Texas. (Does not Apply)
AC. NOTE FOR INFORMATIONAL PURPOSES:
Company, per above exception, does not insure the subject property against conveyances or reservations of interests as set out, but for informational purposes only, the following documents were found of record that may affect the coal, lignite, oil, gas and other mineral estate.
Title to the below items not checked subsequent to the date of the documents cited.
An unexpired 1/666th interest in all oil, gas and other minerals, together with all rights relating thereto, express or implied, reserved in instrument recorded in Volume 1748, Page 368 of the Deed Records of Travis County, Texas. Said mineral estate not traced further herein. Said mineral interest being further affected by Waiver of Surface Rights and Specification of Royalty Interest Agreement recorded in Volume 8218, Page 744 and Volume 8656, Page 173 of the Real Property Records of Travis County, Texas. Said mineral interest being further affected by Quit Claim Mineral Deed recorded under Document No. 1599128802, Official Public Records of Travis County, Texas.



SYMBOL LEGEND table listing symbols for GUY ANCHOR, ADVERTISING/ROAD/UTILITY SIGN WITH DESCRIPTION, SANITARY SEWER MANHOLE, STORM DRAIN MANHOLE, UNKNOWN VALVE, UTILITY POLE, WATER VALVE.

TREE LEGEND table listing symbols for OAK, GRAPE MYRTLE.
LINE LEGEND table listing symbols for WROUGHT IRON/ORNAMENTAL FENCE, OVERHEAD ELECTRIC.

31.58 ACRES (DOC. #200159586 O.P.R.)

DEED/PLAT REFERENCE
DA, DEED RECORDS OF TRAVIS COUNTY, TEXAS
PL, PLAT RECORDS OF TRAVIS COUNTY, TEXAS
O.P.R., OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS



This 20th day of February, 2013 A.D.
G. Buchanan
Registered Professional Land Surveyor No. 4999
Pape-Dawson Engineers

PAPE-DAWSON ENGINEERS logo and contact information: PHONE: 512-454-8711, FAX: 512-454-8867, 7000 SHOAL CREEK BLVD., SUITE 220 WEST, AUSTIN, TEXAS 78757.

BOUNDARY, TREE & TOPOGRAPHIC SURVEY
AN 18,938 ACRE, OR 824,953 SQUARE FEET MORE OR LESS, TRACT OF LAND BEING OUT OF THE REMAINING PORTION OF A 49,815 ACRE TRACT, RECORDED IN VOLUME 12579, PAGES 348-363 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, OUT OF THE JOHN VAN WINKLE SURVEY NO. 14, ABSTRACT 786, IN THE CITY OF PFLUGERVILLE, TRAVIS COUNTY, TEXAS.

Table with columns: JOB NO. (59003-13), DATE (FEB. 2013), CHECKED BY (E.B., DRAWN (A.H.), CIVIL JOB NO., REFERENCE (59001-08), SHEET 1 OF 1.

CARRINGTON COURT

ALUR DEVELOPMENT CODE

EXHIBIT B

Pflugerville, Texas

CARRINGTON COURT

DEVELOPMENT CODE

1.0 Purpose and Intent

The purpose of the Carrington Court Development Code and Regulating plan is to (i) provide for variety in the development patterns of the City, and (ii) to establish a framework of zoning guidelines and criteria which support the development of Carrington Court. The requirements of this Development Code and Regulating Plan are intended and shall apply to the property, consisting of approximately 18.938 acres of land located within the City of Pflugerville, Texas, as more particularly described in the Regulating Plan.

2.0 Community Features

The Developer intends to provide various Community Features that will enhance the development. These amenities include, but are not limited to:

- a. Common Open Space (refer to Exhibit D for the Open Space Illustrative Plan)
 - i. An approximately 2.7 acre lot will be provided that will accommodate a detention pond and landscaping on the east portion, and a decomposed granite walking trail with outdoor exercise stations on the west end.
 - ii. Pocket park open space lots totaling approximately 0.7 acres will be provided that will accommodate landscaping, playscape, and benches.
 - iii. Additional open space lots totaling approximately 2.3 acres will be provided that will accommodate concrete sidewalks and landscaping, and will act as "Paseos" between and adjacent to the building units.
 - iv. The Open Space lots and amenities identified above will be owned and maintained by the Homeowner's Association (HOA).
- b. Residential Construction
 - i. Attached residential structures shall have 4 sides consisting of 100% masonry materials as defined in Section 3.0(2).
 - ii. The development exceeds City requirements in certain areas pertaining to building design and architectural improvements as itemized below:
 - a. Brick and stone combinations on all townhomes.
 - b. Vertical and/or horizontal offsets every 20-ft or less.
 - c. Two car garage for all units.
 - d. LP TechShield radiant barrier roof deck. This product helps block radiant heat in the roof from entering the attic, lowering energy costs, making the home more comfortable.
 - e. Insulated garage doors.
 - f. Dimensional shingles with a limited lifetime warranty.
 - g. All included laundry appliances are high efficiency with an energy star washer rated CEE Tier III with e-wash option.
 - h. All kitchen appliances which qualify for Energy Star rating will be used.

- i. Full gutters.
- j. All common walls have a Blown-In-Blanket (BIBS) insulation system which exceeds Austin Energy Green Building standards.
- k. Low VOC paint (meets Austin Energy Green Building requirements).
- l. Pressure relief ducts for improved AC flow and AC energy efficiency.
- m. Exhausts fans in all baths and utility rooms for improved air quality.
- n. ESP (Environmental Stewardship Program) certified cabinets, also meets NAHB National Green Building Program requirements.

3.0 Code Amendments

The Carrington Court Development Code and Regulating Plan will adhere to the City of Pflugerville Unified Development Code (UDC) and Engineering Design Guidelines (EDG) for development according to the Single-Family Urban zoning district except as amended by this document. Amendments to the UDC are as follows:

Modifications related to Subchapter 4(A)(6) General Regulations Urban Districts
 This table replaces Subchapter 4(A)(6) of the UDC

General Regulations Urban Districts	SF-U	
	SF Attached	
	Front Load	Rear Load
Minimum Lot Area	2,400 sq ft	2,400 sq ft
Minimum Lot Width	24'	20'
Minimum Width (cul-de-sac chord length)	32'	32'
Minimum Lot Depth	95'	120'
Minimum Front Setback	20'	15'
Maximum Front Setback	NA	NA
Minimum Side Setback (corner lots) ¹	0'	0'
Minimum Interior Side Setback ¹	0'	0'
Minimum Interior Side Setback (abutting SF-S zoning or existing single family detached unit, not SF-U) ¹	0'	0'
Minimum Rear Setback	15'	16.5'
Minimum Rear Setback (abutting SF-S zoning or existing single family detached unit, not SF-U)	NA	NA
Single Family Adjacency Vegetative Bufferyard	NA	NA
Maximum Lot Coverage	NA	NA
Maximum Density	NA	NA
Minimum Dwelling Unit Area (livable space)	1,500 sq ft	1,200 sq ft
Unit Mix Required	NA	NA
Maximum Units per Structure	6	6
Maximum Building Length	160'	125'

¹ Units within the attached structures are contained within individual lots with the side lots lines located at the edge of the units. Attached structures are separated by open space lots with a minimum width of 15 feet which act as the side setback for the structures. Open space lots with a minimum width of 10 feet are located at the end of blocks to act as the side setback for corner attached structures.

Modifications related to Subchapter 9(D) Residential Design Standards – Urban – Single Family Attached Structures

This section replaces Subchapter 9(D) of the UDC

(1) Applicability.

The architectural standards in this section are applicable to all single-family attached residential development with three or more attached units.

(2) Materials Required. Materials shall be required per the following table.

Design Element	Standard
Masonry Requirements	100% masonry
Number of Materials Required	Minimum of 2 distinct materials on front facades

(a) Permitted Primary Materials.

The following materials are permitted and shall count towards meeting masonry requirements:

- (i) Stone
- (ii) Brick
- (iii) Cultured stone, cast stone or natural stone panels
- (iv) Architecturally finished poured concrete
- (v) Cementitious fiberboard
- (vii) Stucco

(b) Permitted Accent Materials.

The following materials may be permitted as accent materials for a maximum of 20% each facade face:

- (i) Stucco
- (ii) EIFS
- (iii) Wood or plastic siding
- (iv) Architecturally finished concrete block
- (v) Corrugated metal or other types of metal
- (vi) Wood roof shingles on facade
- (vii) Other materials approved by the Zoning Administrator in keeping with the architectural style of the structure

(3) Building Design. The following design elements are required as stated in the table. The term “public façade” shall apply to all public ROW and all public open space.

Design Element	Standard
Roof Pitch	Pitch roof – minimum 6:12 Flat roof – require parapet screening Shed roof, porch roof and arcade roofs – minimum 2:12
Permitted Roof Materials	Asphalt shingles Standing seam metal Tile
Roof Articulation (excluding flat roofs)	2 Elements from the following: <ul style="list-style-type: none"> • Dormers along public façades (1/20') • Eaves that overhang a minimum of 16" with a minimum fascia depth of 6" • Three or more roof slope planes per primary façade
Vertical Articulation	No more than 50 linear feet (horizontally) without a minimum 5' offset
Horizontal Articulation	No more than 50 linear feet without a minimum 5' offset Minimum one horizontal offset per building
Transparency (windows and doors)	25% of all front facing public façades, 20% of all back facing public façades, and 10% of all side facing public façades shall be doors and windows
Window and Door Treatment	Minimum 4" trim required on all windows appropriate to style of structure
Window Articulation	Window articulation shall conform to building elevations shown in Exhibit E ¹
Façade Repetition	Adjacent structures shall alternate the public façade from the available elevation options Façade repetition shall conform to building elevations shown in Exhibit E ¹
Top Floor Articulation	Shall contain a distinctive finish, consisting of a cornice, banding or other architectural termination
Building Orientation	All buildings shall be oriented towards the public right of way or public open space, not parking areas
Primary Entry Location	Main entrance from a public sidewalk or common open space (if not adjacent to public ROW)
Entry Articulation	Entry shall be covered or inset with distinct architectural detail such as: porch, portico, arcade, or other similar element
Building Access – Ground Floor Units (Public Façade)	All units adjacent to public façade shall have exterior entrances from a public sidewalk or common open space and shall appear to be designed as townhomes.

¹ Building elevations shown in Exhibit E are for reference only and any discrepancies between the building elevation exhibits and this Development Code will conform to the minimum requirements as written and established in this Development Code.

(4) Parking and Garage Requirements. Parking and garage requirements shall be per the following table.

Design Element	Standard
Garage Required	2 spaces per unit (tandem shall not apply)
Garage Location General (Townhomes)	Garages are allowed to front on both Public ROW and private alleys
Garage Materials	Front load products shall have garages integrated into the main structure with materials meeting the primary and accent materials requirements Rear load products shall have detached garages constructed with cementitious fiberboard or other appropriate masonry material

(5) Common Open Space. Common open space requirements shall be per the following table.

Design Element	Standard
Minimum Common Open Space	200 sq ft per unit Multiple open space areas may be created, however all open space areas must contain a minimum of 1,000 sq ft Common open space must have defined edges, either through grade change, perimeter edging, or the integration of buildings as perimeter edging
Common Open Space Amenities Required	For each 2,000 sq ft of open space <u>required</u> a minimum of 1 amenities from the following: <ul style="list-style-type: none"> • Sculpture garden • 4 benches or seating area (8 seats minimum) • 2 trees (3" caliper at the time of planting) • 4 large planters • Decorative hardscape (minimum 400 sq ft) • Walking trail (decomposed granite or similar material) • Playscape • Each 20,000 square feet of open space provided above the required amount shall count as one (1) amenity

(6) This section is deleted.

(7) Additional Requirements. Additional requirements shall be per the following table.

Design Element	Standard
Fencing	Rear load product shall have wrought iron fencing for side yards between the house and the garage Front load product shall have wrought iron back yard fencing
Interior Pedestrian Access	Minimum 4' sidewalks required from all parking or public areas to entryways of all units

Modifications related to Subchapter 10(C) Off-Street Parking Requirements

This section supplements Subchapter 10(C) of the UDC

The Carrington Court development will have off-street parking in addition to the requirements outlined in Subchapter 10(C). Parking spaces are proposed adjacent to both the public ROW and the private alleys. Minimum dimensions for the parking spaces shall be as follows:

- 90 degree spaces along public ROW shall be a minimum width of 9 feet and minimum length of 19 feet.
- 60 degree spaces along public ROW shall be a minimum width of 8.5 feet and minimum length of 17 feet.
- 90 degree spaces along private alleys shall be a minimum width of 9 feet and minimum length of 19 feet.
- 60 degree spaces along private alleys shall be a minimum width of 8.5 feet and minimum length of 17 feet.

Modifications related to Subchapter 15(X) Subdivision Design Standards

This section replaces Subchapter 15(X)(4)(c) of the UDC

Private alleys shall be allowed to be designed to terminate with another private alley or to terminate with a dead-end.

4.0 Revision of the Development Code and Regulating Plan

The City, Owner, and Developer acknowledge that changes to this Development Code and the Regulating Plan may be necessary during the development of the Property.

- a. Minor Changes and Revisions. Minor changes, revisions, and modifications to, and variances from, this Development Code and the Regulating Plan that do not substantially increase the overall density of development for Carrington Court may be approved administratively by the City Manager if the City Manager determines in his sole and absolute discretion to be a minor change, revision, modification or variance. Examples of minor changes, revisions, modifications, and variances include, but are not limited to, the following: street alignments, lot types and sizes, and location and size of Open Space.
- b. Major Changes and Revisions. Major changes, amendments, and/or revisions of this Development Code and the Regulating Plan must be approved in accordance with the City's procedures for amendments to the ALUR process.

5.0 Regulating Plan

The Regulating Plan establishes street locations, street types, and Open Space. Development of the land must be consistent with the Regulating Plan. The street types indicated in the Regulating Plan shall conform to the requirements of the Engineering Design Guidelines, and as amended by this Development Code, for local streets and private alleys.

6.0 Development Procedure

Development standards in this Development Code and the Regulating Plan will take precedence over the City's applicable development codes. Where the Development Code is silent on specific requirements and regulations, the City's codes, including the Single-Family Urban district requirements as amended, shall prevail. Zoning is approved by the adoption of this Development Code and the Regulating Plan and will remain in force unless the property is rezoned.

CARRINGTON COURT

ALUR REGULATING PLAN

EXHIBIT C

Pflugerville, Texas

CARRINGTON COURT

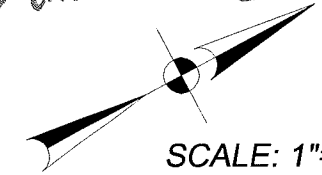
OPEN SPACE ILLUSTRATIVE PLAN

EXHIBIT D

Pflugerville, Texas

HEATHERWILDE BLVD.
(R.O.W. VARIES)

D.R. HORTON DHI
Listed
NYSE
America's Builder



SCALE: 1" = 100'

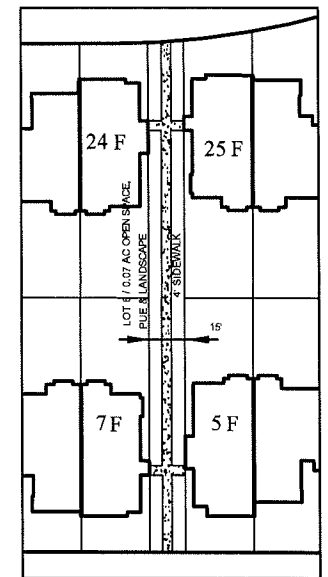
LEGEND:

-  PRIVATE OPEN SPACE / PUE & LANDSCAPE
-  PRIVATE OPEN SPACE WASTEWATER & DRAINAGE

F = FRONT GARAGE
A = ALLEY GARAGE

SUMMARY
FRONT LOAD = 77 UNITS
READ LOAD = 57 UNITS
134 UNITS

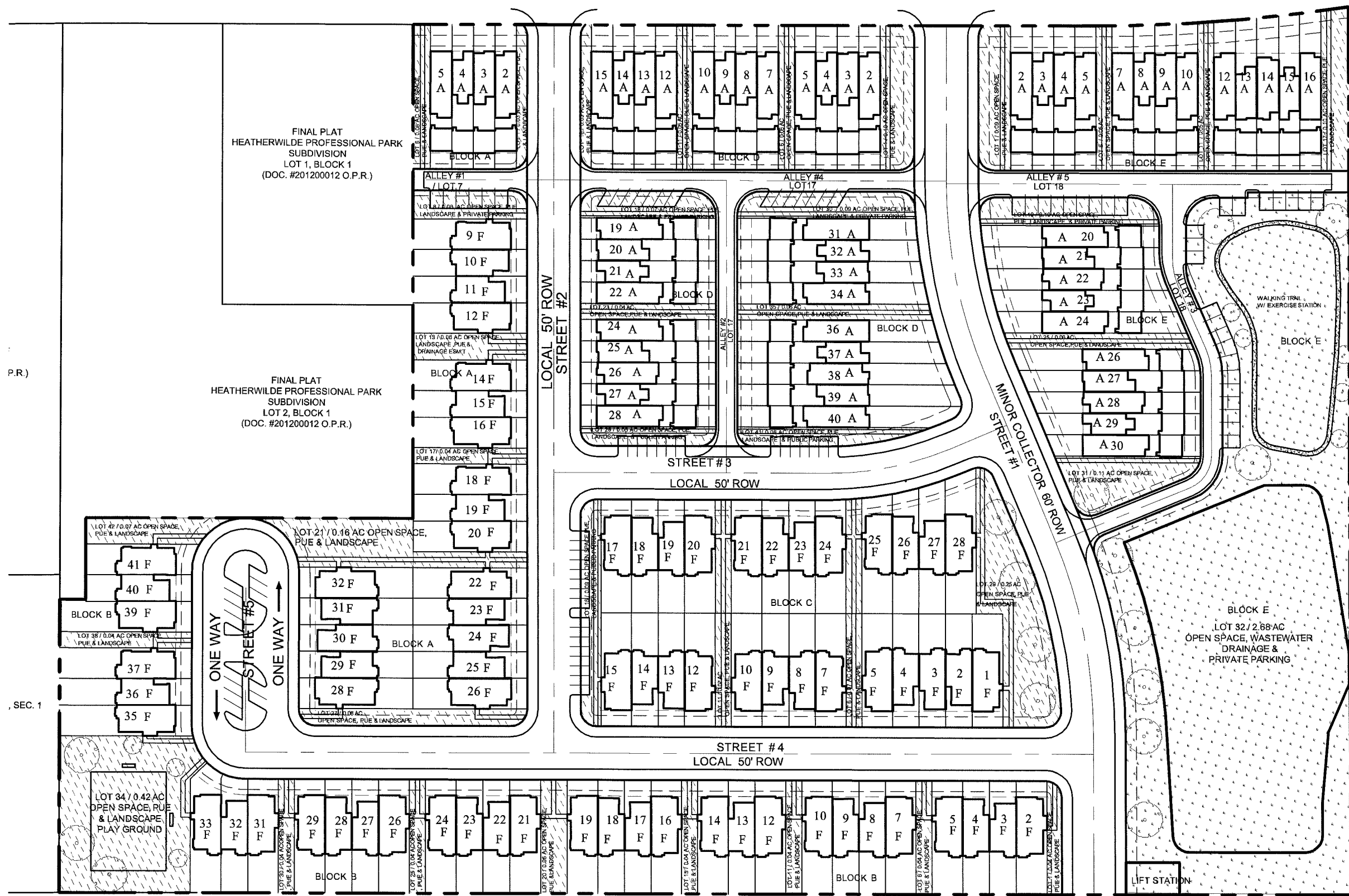
NOTE:
1 OPEN SPACE AND PEDESTRIAN IMPROVEMENTS
ARE FOR ILLUSTRATIVE PURPOSES ONLY
AND ARE CONCEPTUAL.



TYPICAL "PASEO" LAYOUT

CARRINGTON COURT
OPEN SPACE
ILLUSTRATIVE PLAN

DATE: SEPTEMBER 26, 2013



DATE: Sep 27, 2013, 2:34PM USER ID: DGOSS
File: H:\PROJECTS\15071691001915 ZONING\EXHIBITS\MP50769-00 REGULATING PLAN.DWG

PAPE-DAWSON
ENGINEERS

7800 SHOAL CREEK BLVD | AUSTIN, TEXAS 78757 | PHONE: 512.454.8711
SUITE 220 WEST | FAX: 512.459.8867

TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION # 470

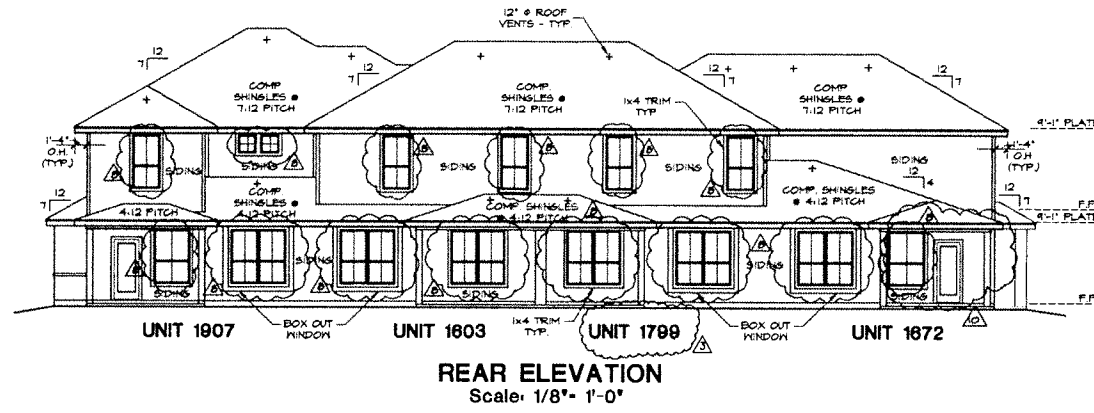
CARRINGTON COURT

BUILDING ELEVATIONS

EXHIBIT E

Pflugerville, Texas

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 11:11 AM 8/12/2011 2:12 PM
 11:11 AM 8/12/2011 2:12 PM

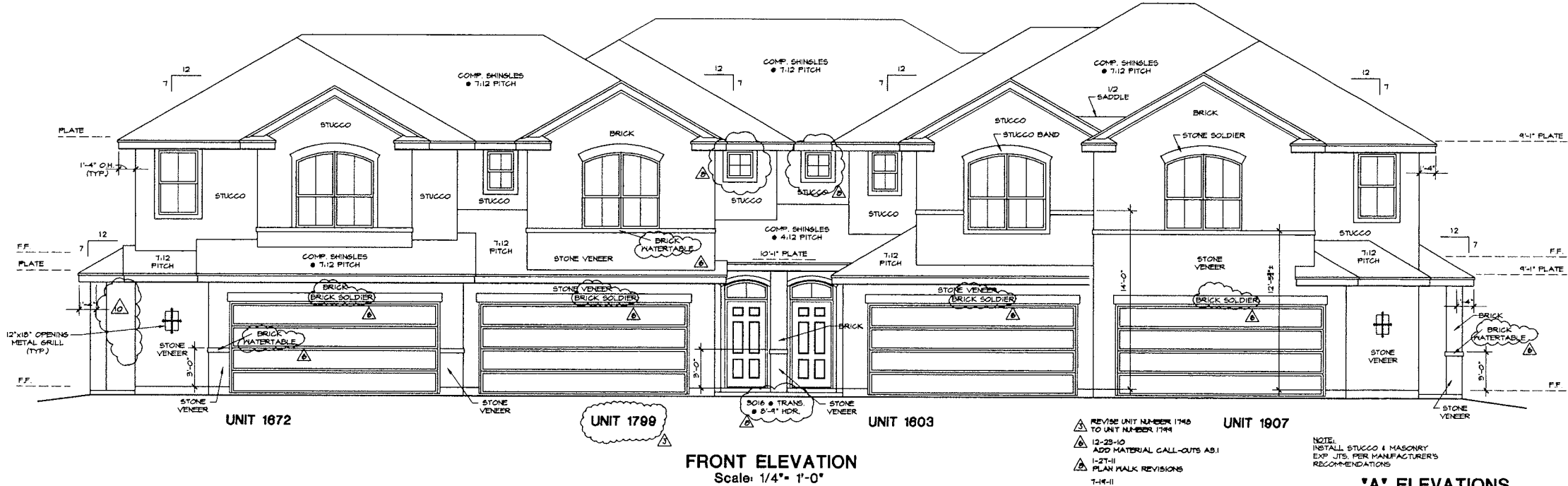
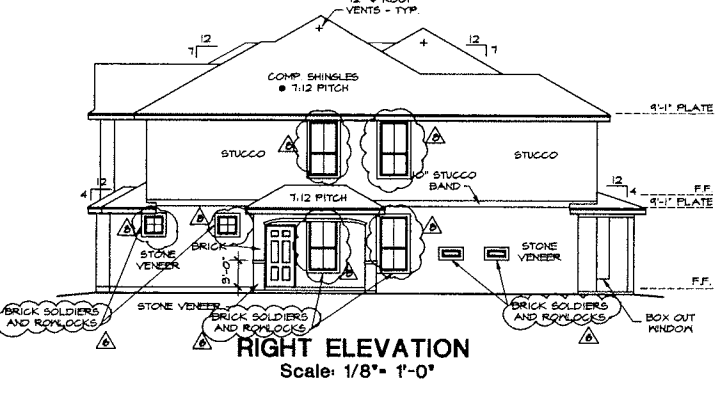
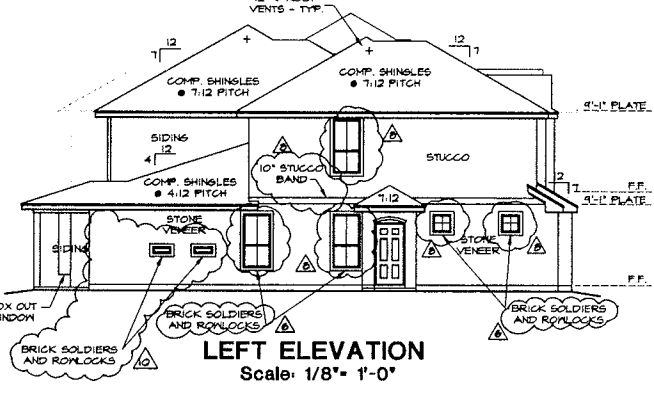
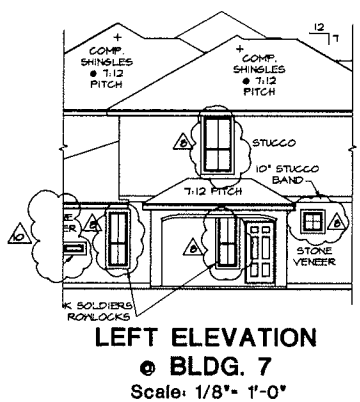


360 SQ. IN. FREE ATTIC AREA.
 PROVIDE MIN. 719 SQ. IN. THRU
 4-12" ROOF VENTS.
 THE REMAINING VENTILATION THRU
 CONTINUOUS SCREENED OPENINGS •
 EAVES OR CORNICE.
UNIT 1907

287 SQ. IN. FREE ATTIC AREA.
 PROVIDE MIN. 593 SQ. IN. THRU
 4-12" ROOF VENTS.
 THE REMAINING VENTILATION THRU
 CONTINUOUS SCREENED OPENINGS •
 EAVES OR CORNICE.
UNIT 1803

315 SQ. IN. FREE ATTIC AREA.
 PROVIDE MIN. 629 SQ. IN. THRU
 4-12" ROOF VENTS.
 THE REMAINING VENTILATION THRU
 CONTINUOUS SCREENED OPENINGS •
 EAVES OR CORNICE.
UNIT 1799

353 SQ. IN. FREE ATTIC AREA.
 PROVIDE MIN. 705 SQ. IN. THRU
 4-12" ROOF VENTS.
 THE REMAINING VENTILATION THRU
 CONTINUOUS SCREENED OPENINGS •
 EAVES OR CORNICE.
UNIT 1872



- △ REVISE UNIT NUMBER 1799 TO UNIT NUMBER 1794
- △ 12-28-10 ADD MATERIAL CALL-OUTS AS 1
- △ 1-27-11 PLAN WALK REVISIONS
- △ 1-14-11 UNIT 1872 - ENLARGE LIVING BY 2 FEET TO REAR & FLIP KITCHEN TO OUTSIDE WALL. NO CHANGE IN FOOTPRINT. ADD 2004 WINDOWS AT KITCHEN WALL.

NOTE:
INSTALL STUCCO & MASONRY
EXP. JTS. PER MANUFACTURER'S
RECOMMENDATIONS

***A' ELEVATIONS**
 Scale: 1/8" = 1'-0"
4-PLEX 6980R

These documents supercede documents dated 12/08/10 02/16/11

DANZE & DAVIS
 ARCHITECTS, INC.
 4701 Spicewood Springs Road, Suite 200 Austin, TX 78759 Phone: 512.343.0714 Fax: 512.343.0718
 WWW.DANZE-DAVIS.COM

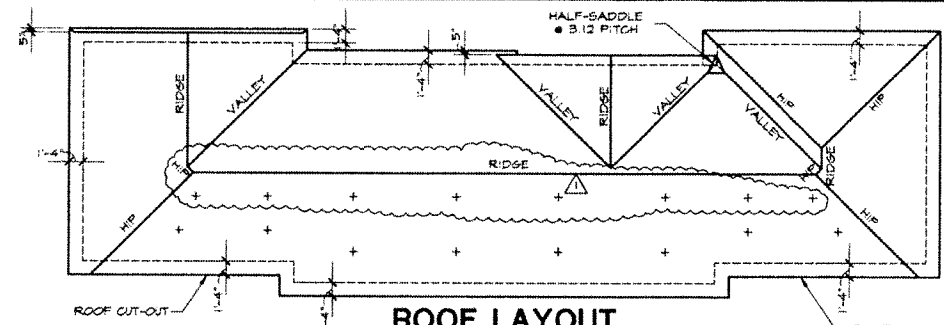
BRHONON PHI AIA
America's Builder
 INGLESIDE TOWNHOMES (AVERY SOUTH)

ELECTRONIC COPY
 OF SEALED
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 PLEASE REFER TO
 ORIGINAL DRAWINGS
 SEALED 8/1/11

4-PLEX_A_6980R
 JOB NO.: 02607-6
 DRAWN BY: RLS/RAH
 CHD. BY: GH
 DATE: 8-25-10
 REVISED: 07-25-11

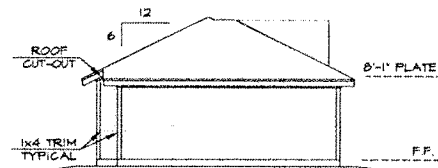
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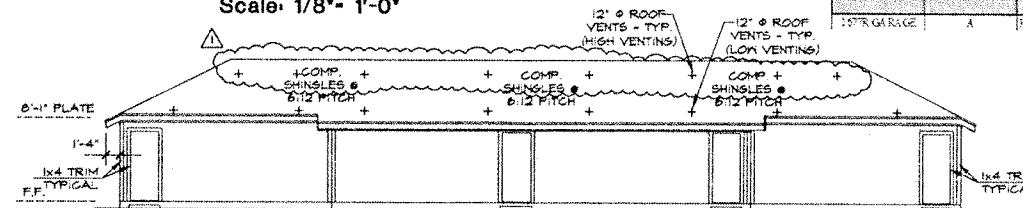


ROOF LAYOUT
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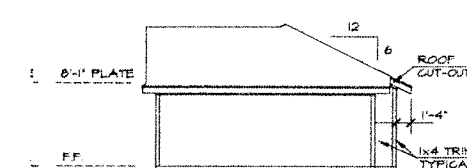
UNIT #	Elevation	Roof Area Type	Attic Square footage (square feet)	Free attic area @ 1:300 (square inches)	High Ventilation @ 50% (square inches)	Required 12" Air Holes @ 100 sq. in. each (count)	Low Ventilation @ 50% (square inches)	(Detail) 28 Sections of perf. soffits @ 100 sq. in. each (count)	Alternate - Required (Detail) 12" Air Holes @ 100 sq. in. each (count)
1077 GARAGE	A	Roof 1	416.33	23.78	101.50	2	101.50	2	2
1098 GARAGE	A	Roof 1	415.33	23.72	101.35	2	101.35	2	2
1224 GARAGE	A	Roof 1	416.33	23.78	101.50	2	101.50	2	2
1278 GARAGE	A	Roof 1	416.33	23.78	101.50	2	101.50	2	2



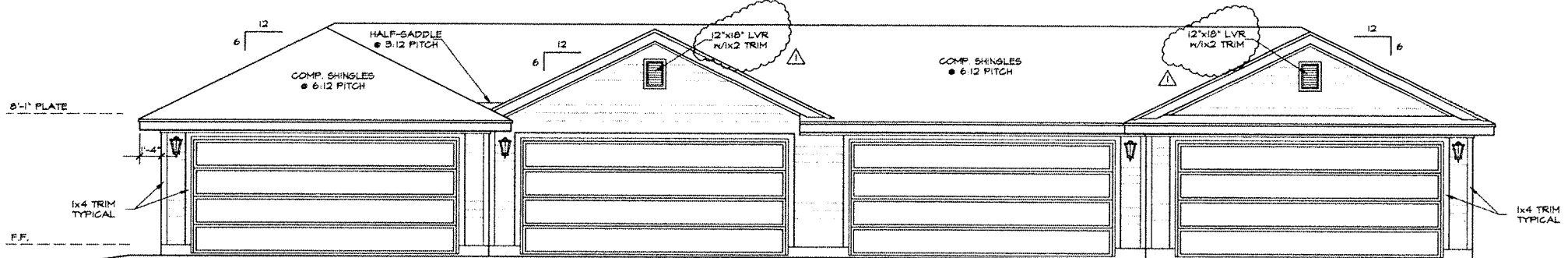
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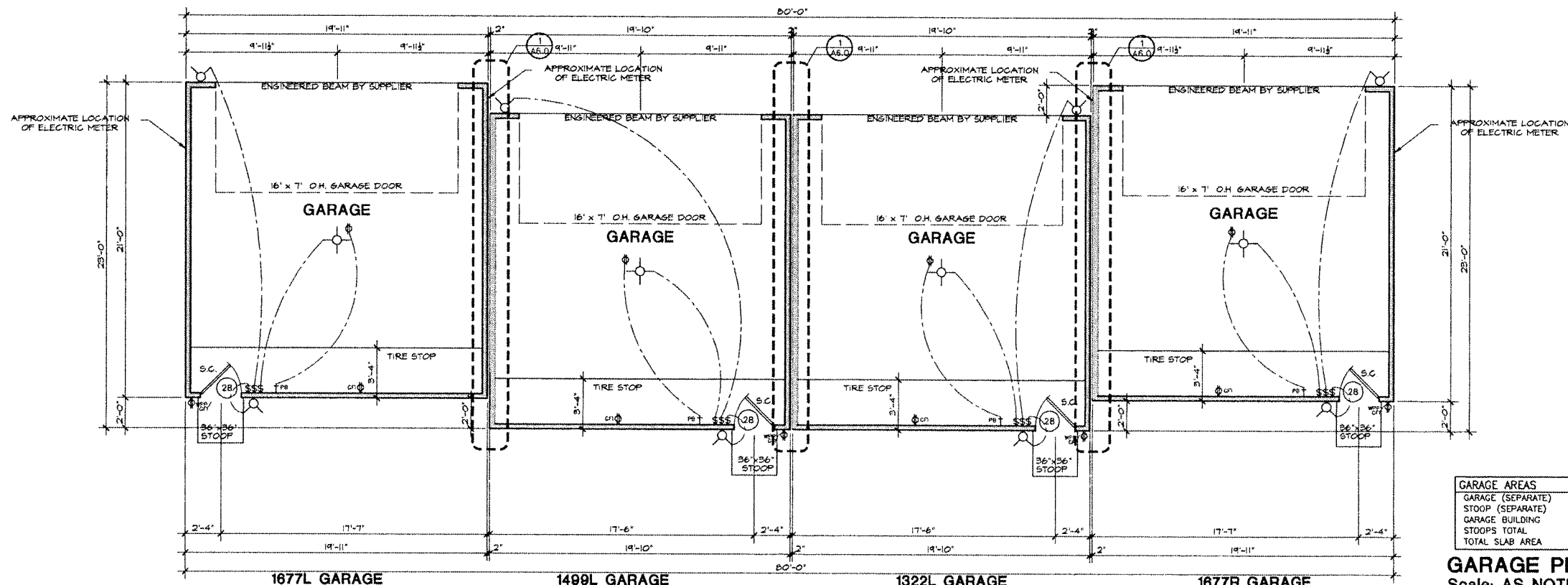
REAR ELEVATION
Scale: 1/8" = 1'-0"



RIGHT ELEVATION
Scale: 1/8" = 1'-0"



FRONT ELEVATION
Scale: 1/4" = 1'-0"



FLOOR PLAN
Scale: 1/4" = 1'-0"

GARAGE AREAS	FRAMING
GARAGE (SEPARATE)	418.9 SQ. FT.
STOOP (SEPARATE)	8.0 SQ. FT.
GARAGE BUILDING	1674.9 SQ. FT.
STOOPS TOTAL	36.0 SQ. FT.
TOTAL SLAB AREA	1674.9 SQ. FT.

GARAGE PLAN REV
Scale: AS NOTED
4-PLEX 6210L

REVISION LIST
PLAN WALK COMMENTS 12 DEC 2012

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D.R. HOHON DRH
ANYS
America's Builder
CEDAR PARK TOWN CENTER TOWNHOMES

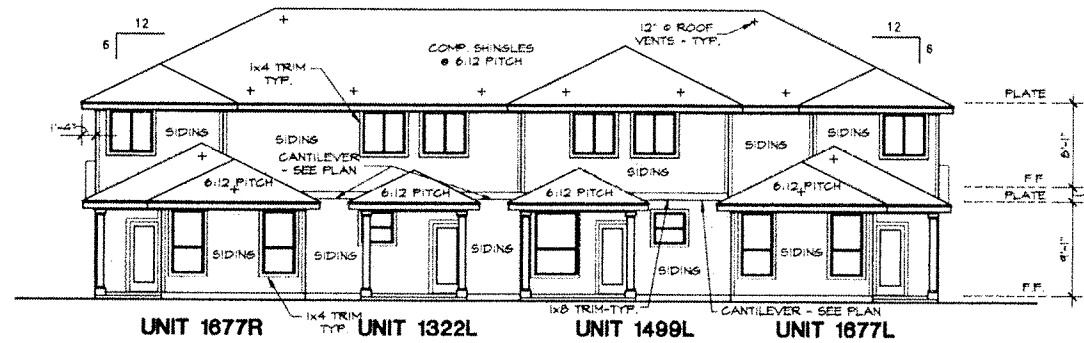
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JOB NO.: C2780-10
DRAWN BY: SAHRELS/LS/CHKD. BY: GM
DATE: 8.27.12
REVISED: 8.28.12

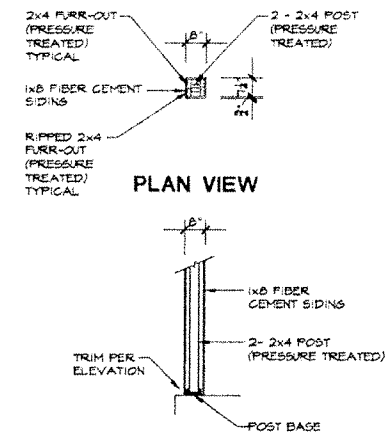
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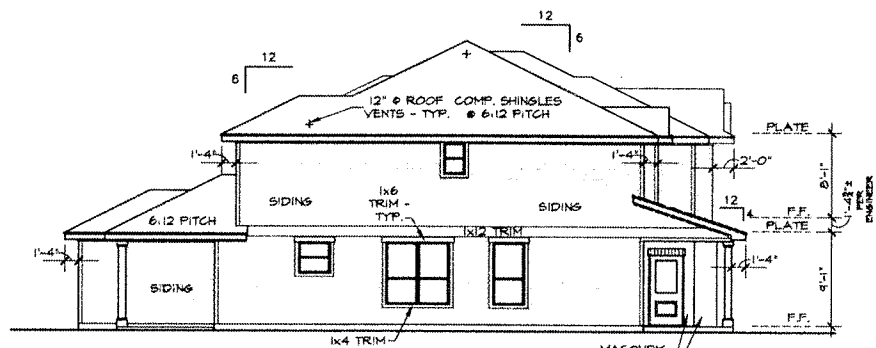
These documents supersede documents dated 1/22/12



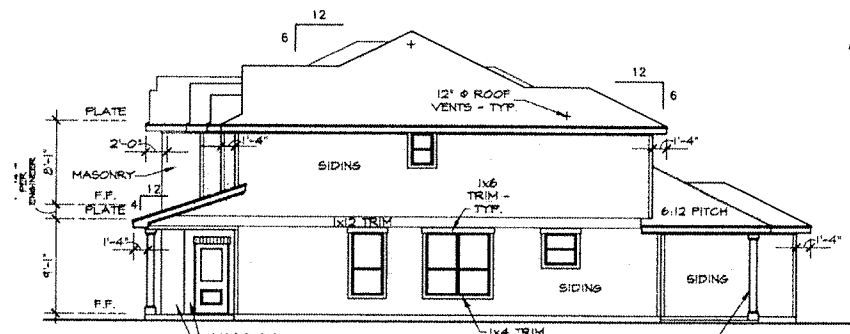
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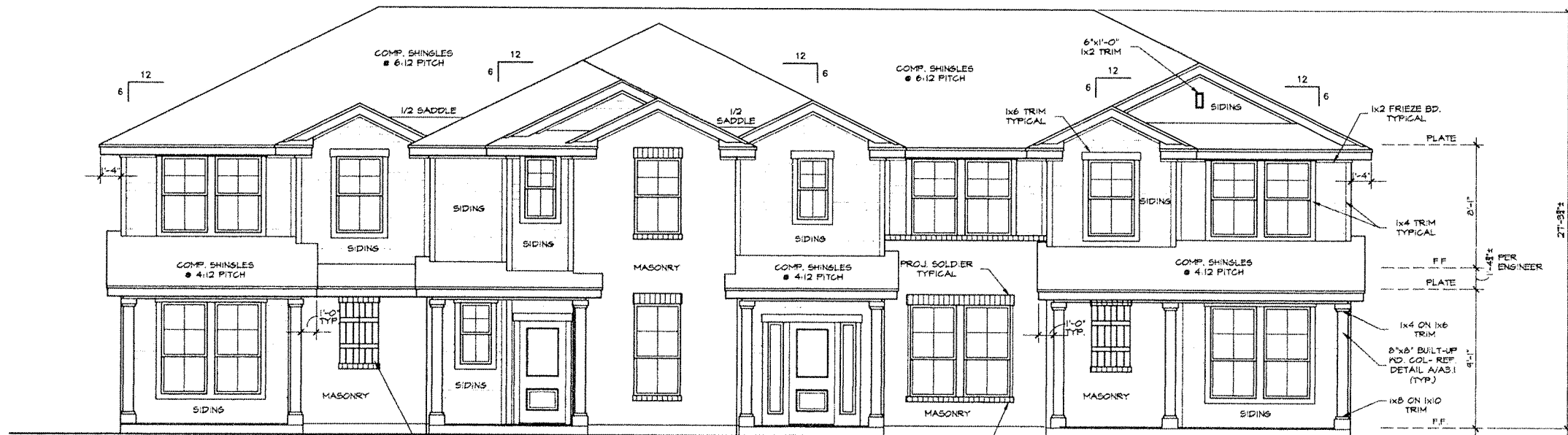
SECTION
A. BUILT-UP WOOD COLUMN DETAIL
Scale: 3/8" = 1'-0"



LEFT ELEVATION
Scale: 1/8" = 1'-0"



RIGHT ELEVATION
Scale: 1/8" = 1'-0"



FRONT ELEVATION
Scale: 1/4" = 1'-0"

'A' ELEVATIONS
Scale: 1/8" = 1'-0"
4-PLEX 6210L

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DRI
NYSE
America's Builder

CEDAR PARK TOWN CENTER TOWNHOMES

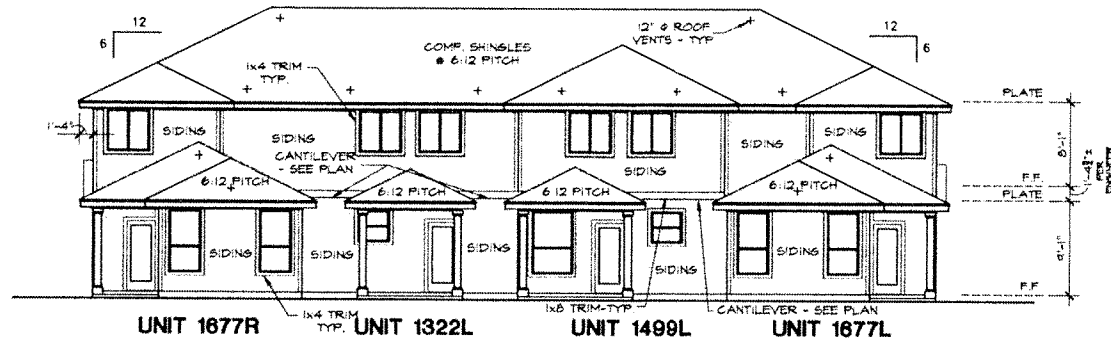
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DRAWN BY: BAHRLUIS/LS/CHKD. BY: GM
DATE: 8.21.12
REVISED: 9.25.12

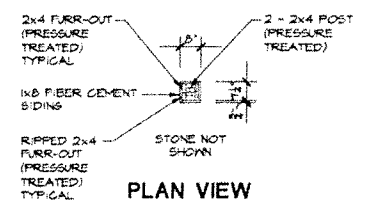
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These documents supersede documents dated 1/22/12

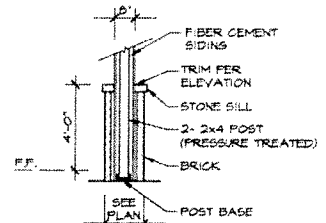
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REAR ELEVATION
Scale: 1/8" = 1'-0"

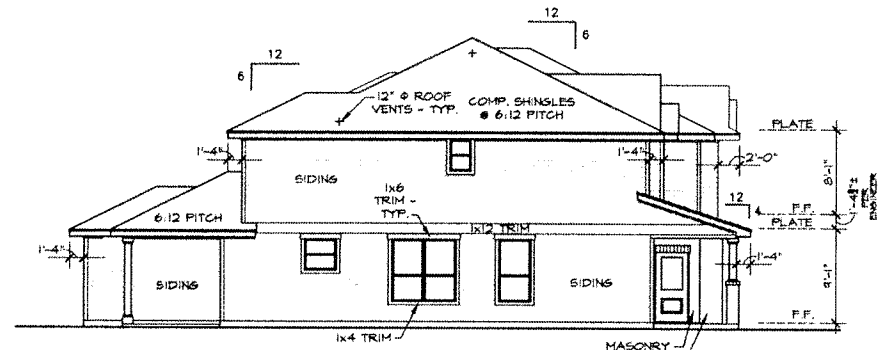


PLAN VIEW

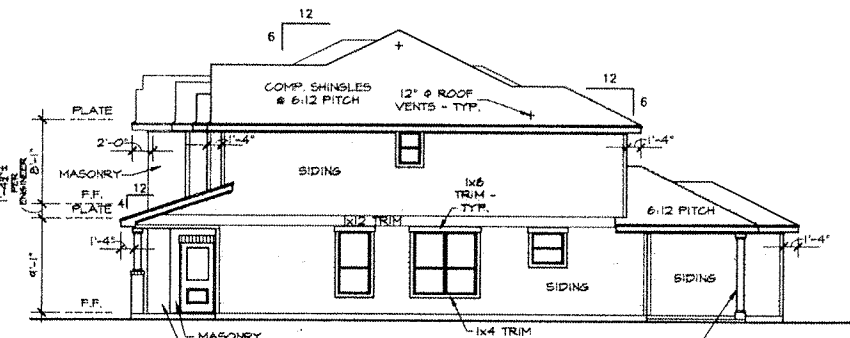


SECTION

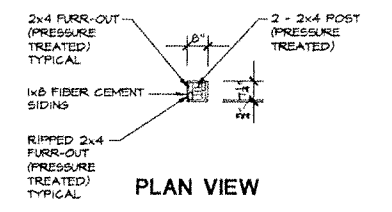
A. MASONRY COLUMN DETAIL
Scale: 3/8" = 1'-0"



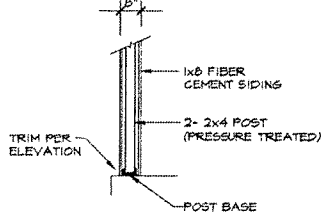
LEFT ELEVATION
Scale: 1/8" = 1'-0"



RIGHT ELEVATION
Scale: 1/8" = 1'-0"



PLAN VIEW



SECTION

B. BUILT-UP WOOD COLUMN DETAIL
Scale: 3/8" = 1'-0"



FRONT ELEVATION
Scale: 1/4" = 1'-0"

REVISION LIST

1	PLAN MARK COMMENTS 12 DEC 2012
---	--------------------------------

'B' ELEVATIONS
Scale: As Noted
4-PLEX 6210L

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DATE: 9-27-12
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