

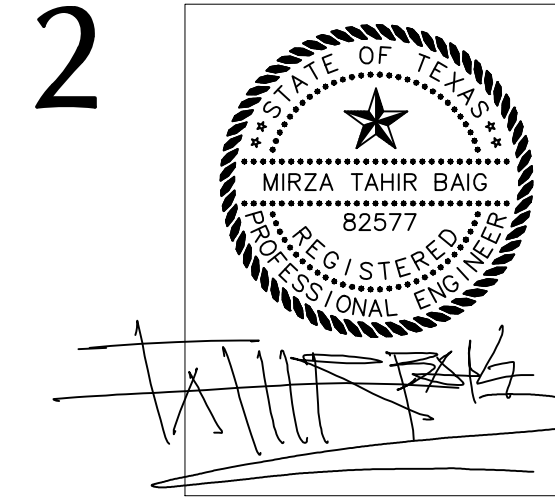
VILLAGE AT WELLS BRANCH SECTION 2

1305 E WELLS BRANCH PKWY
PFLUGERVILLE, TEXAS

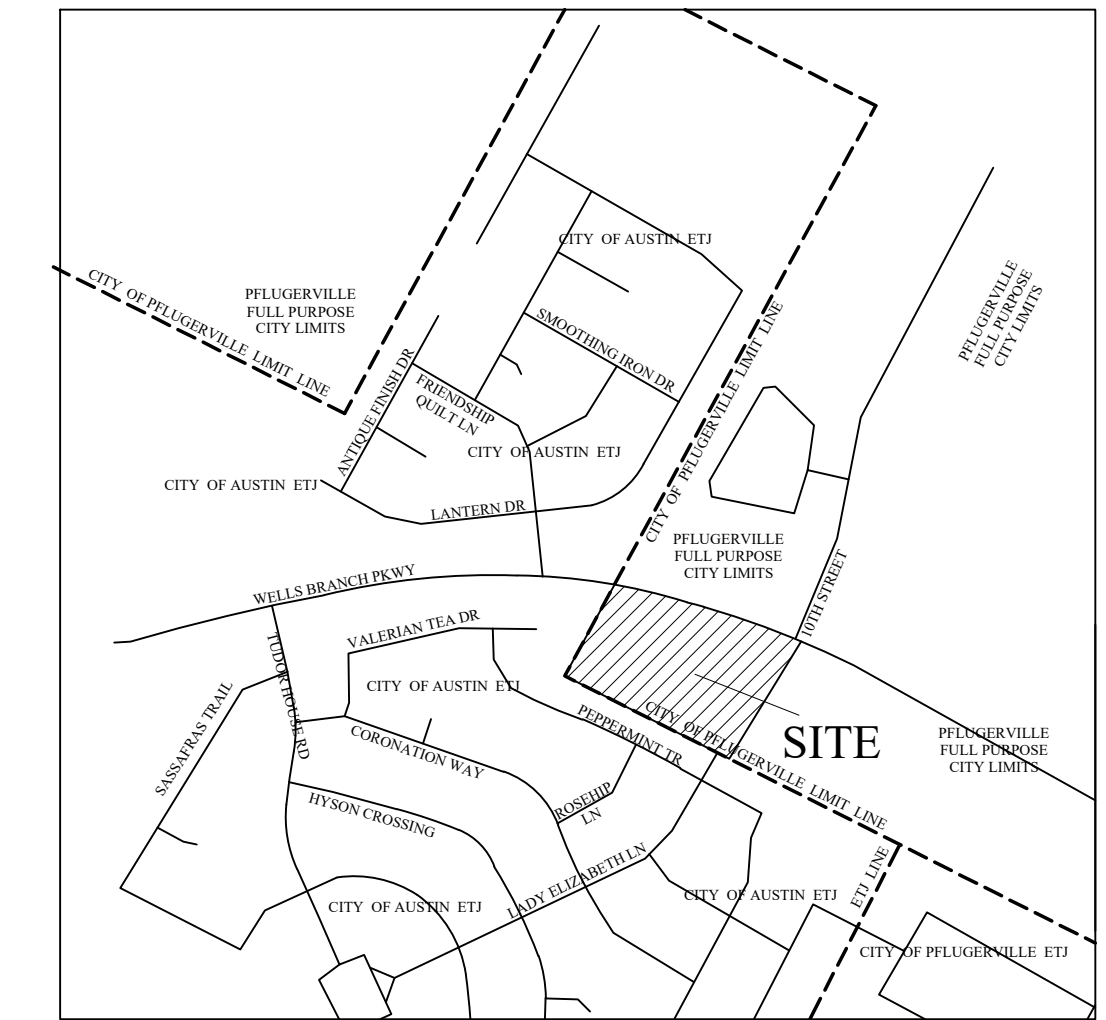
CLIENT
LEE COUNTY PETROLEUM, INC.
4125 EAST AUSTIN STREET, GIDDINGS, TEXAS 78942
(979) 542-2340

CONSULTING ENGINEERS

PROFESSIONAL StruCIVIL ENGINEERS
CONSULTING CIVIL AND STRUCTURAL ENGINEERS
2205 W. PARMER, SUITE 201, AUSTIN, TX 78727
(512) 238-6422 PSCE@PSCEINC.COM



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MIRZA TAHIR BAIG, P.E., #82577 ON 01/03/2023 FIRM REGISTRATION F-4951



SITE LOCATION MAP

PRELIMINARY PLAN NOTES:

- THIS PLAN LIES WITHIN THE CITY OF PFLUGERVILLE – GB1 ZONING.
- THE WATER AND WASTEWATER ARE PROVIDED BY THE CITY OF PFLUGERVILLE. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO WATER AND WASTEWATER FACILITIES.
- A 10-FT PUBLIC UTILITY EASEMENT (P.U.E.) SHALL BE DEDICATED ALONG ALL STREET FRONTAGE(S).
- EASEMENT(S) DEDICATED TO THE PUBLIC BY THIS PLAN SHALL ALSO BE SUBJECT TO THE TERMS AND CONDITIONS OF THE ENGINEERING DESIGN MANUAL, AS AMENDED. THE GRANTOR [PROPERTY OWNER(S)], HEIRS, SUCCESSORS AND ASSIGNS SHALL RETAIN THE OBLIGATION TO MAINTAIN THE SURFACE OF THE EASEMENT PROPERTY, INCLUDING THE OBLIGATION TO REGULARLY MOW OR CUT BACK VEGETATION AND TO KEEP THE SURFACE OF THE EASEMENT PROPERTY FREE OF LITTER, DEBRIS, AND TRASH.
- NO IMPROVEMENTS INCLUDING BUT NOT LIMITED TO STRUCTURES, FENCES, OR LANDSCAPING SHALL BE ALLOWED IN A PUBLIC EASEMENT, EXCEPT AS APPROVED BY THE CITY.
- THE PROPERTY OWNER SHALL PROVIDE ACCESS TO DRAINAGE AND UTILITY EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS FOR THE PLACEMENT, CONSTRUCTION, INSTALLATION, REPLACEMENT, REPAIR, MAINTENANCE, RELOCATION, REMOVAL, OPERATION AND INSPECTION OF SUCH DRAINAGE AND UTILITY FACILITIES, AND RELATED APPURTENANCES.
- A SIX (6) FOOT WIDE SIDEWALK ALONG LADY ELIZABETH AND A TEN (10) FOOT ALONG WELLS BRANCH PARKWAY SHALL BE REQUIRED.
- THIS SUBDIVISION IS SUBJECT TO ALL CITY OF PFLUGERVILLE ORDINANCES OR TECHNICAL MANUALS RELATED TO TREE PRESERVATION PER CITY ORDINANCE # 1203-15-02-24 AND CITY RESOLUTION # 1224-09-08-25-8A.
- THE COMMUNITY IMPACT FEE RATE FOR WATER AND WASTEWATER WILL BE ASSESSED AT THE TIME OF FINAL PLAT.
- ON-SITE STORM WATER FACILITIES SHALL BE PROVIDED TO MITIGATE POST-DEVELOPMENT PEAK RUNOFF RATES FOR THE 2 YEAR, 25 YEAR AND 100 YEAR STORM EVENTS.
- ALL ELECTRIC UTILITY INFRASTRUCTURE INCLUDING BUT NOT LIMITED TO TELEPHONE, CABLE TELEVISION, ELECTRIC UTILITY LATERAL AND SERVICE LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF PFLUGERVILLE ENGINEERING DESIGN MANUAL.
- THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF PFLUGERVILLE.
- CONSTRUCTION PLANS AND SPECIFICATIONS FOR ALL SUBDIVISION IMPROVEMENTS SHALL BE REVIEWED AND APPROVED BY THE CITY OF PFLUGERVILLE PRIOR TO ANY CONSTRUCTION WITHIN THE SUBDIVISION.
- SITE DEVELOPMENT CONSTRUCTION PLANS SHALL BE REVIEWED AND APPROVED BY THE CITY OF PFLUGERVILLE PRIOR TO ANY CONSTRUCTION.
- A PORTION OF THIS TRACT IS WITHIN A FLOOD HAZARD AREA AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP PANEL # 48453C0280J FOR TRAVIS COUNTY, EFFECTIVE AUGUST 8, 2014.
- ALL PROPOSED FENCES AND WALLS ADJACENT TO INTERSECTING PUBLIC ROADWAY RIGHT-OF-WAY OR ADJACENT TO PRIVATE ACCESS DRIVES SHALL BE IN COMPLIANCE WITH THE SIGHT DISTANCE REQUIREMENTS OF THE CITY OF PFLUGERVILLE ENGINEERING DESIGN MANUAL, AS AMENDED.
- WASTEWATER AND WATER SYSTEMS SHALL CONFORM TO TCEQ (TEXAS COMMISSION ON ENVIRONMENTAL QUALITY) AND STATE BOARD OF INSURANCE REQUIREMENTS. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR RE-PLATTING MAY BE REQUIRED AT THE OWNER'S SOLE EXPENSE IF PLANS TO DEVELOP THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.
- ALL EXISTING OVERHEAD WILL BE REQUIRED TO BE PLACED UNDERGROUND AT THE TIME OF SITE DEVELOPMENT.
- STREETLIGHTS SHALL BE INSTALLED AND IN FULL WORKING ORDER WITH THE PUBLIC IMPROVEMENTS. ALL STREETLIGHTS SHALL BE IN CONFORMANCE WITH ALL CITY OF PFLUGERVILLE ORDINANCES INCLUDING BUT NOT LIMITED TO BEING DOWNCAST AND FULL CUT OFF TYPE.
- THE LADY ELIZABETH'S LANE SHALL BE BUILT BY THIS DEVELOPMENT, AND A SEPARATE PUBLIC INFRASTRUCTURE SUBDIVISION CONSTRUCTION PLAN SHALL BE SUBMITTED FOR THE CITY OF PFLUGERVILLE APPROVAL.
- THE ASSESSED ROADWAY IMPACT FEE HEREBY ASSESSED AND ESTABLISHED ACCORDING TO THE CITY OF PFLUGERVILLE ORDINANCE NO. 1470-20-11-24. ROADWAY IMPACT FEES WILL BE PAID PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT.

BENCHMARK	TYPE USED	ELEVATION	NORTHING	EASTING
#1	"X" FOUND	762.62 FT.	10130123.907	3146282.935
#2	SQUARE FOUND	747.33 FT.	10129968.057	3146949.570

BEARING BASIS:
BEARINGS ARE GRID NORTH BASED ON THE TEXAS COORDINATE SYSTEM
CENTRAL TEXAS ZONE (4203) NAD83 HARN HORIZONTAL CONTROL.

LOT INFORMATION

TOTAL LOTS PROPOSED:	4
TOTAL ACREAGE:	6.31 ACRES
LOT	SIZE USE
3A	1.56 ACRES COMMERCIAL
3B	1.51 ACRES COMMERCIAL
3C	1.13 ACRES COMMERCIAL
3D	1.45 ACRES DRAINAGE-STORM WATER FACILITIES
ROW	0.66 ACRES ROW
ZONING	GB1 - GENERAL BUSINESS

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF PFLUGERVILLE MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

UTILITY NOTES

- WASTEWATER SERVICE BY THE CITY OF PFLUGERVILLE. FOR SERVICE CONTACT:
CITY OF PFLUGERVILLE
PO BOX 589, PFLUGERVILLE, TEXAS 78691
TEL: (512) 990-6400
- WATER SERVICE BY THE CITY OF PFLUGERVILLE. FOR SERVICE CONTACT:
CITY OF PFLUGERVILLE
PO BOX 589, PFLUGERVILLE, TEXAS 78691
(512) 990-6400
- ELECTRIC SERVICE BY ONCOR. FOR SERVICE CONTACT:
1616 WOODALL ROGERS FWY., #2M 012 DALLAS, TX 75202
(888) 875-6279
- GAS SERVICE BY ATMOS ENERGY. FOR SERVICE CONTACT:
ATMOS ENERGY
P.O. BOX 650205, DALLAS, TX 75265
(888) 286-6700

SUBMITTAL DATE:	JULY 17, 2018
PROJECT TITLE	VILLAGE OF WELLS BRANCH SECTION 2
STREET ADDRESS	1305 EAST WELLS BRANCH PARKWAY, PFLUGERVILLE, TEXAS 78660
PROPERTY OWNER	1305 WELLS BRANCH, LP 110 SAN ANTONIO STREET, SUITE 1706, AUSTIN, TX 78701 CONTACT: TAYLOR WILSON, (512) 968-6141
DESIGN COMPANY	PROFESSIONAL STRUCIVIL ENGINEERS 2205 W. PARMER LN., SUITE 201, AUSTIN, TX 78727 CONTACT: MIRZA TAHIR BAIG P.E. (512) 238-6422
SURVEYOR	ALL STAR LAND SURVEYORS, 9020 ANDERSON MILL ROAD, AUSTIN, TEXAS 78729 512-249-8149
NAME OF WATERSHED	WILLBARGER CREEK - COLORADO RIVER
100-YEAR FLOOD PLAIN	THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEARS FLOOD PLAN AS (ZONE "X") SHOWN ON THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD BOUNDARY MAP, PANEL NO. 48453C0270J, AUGUST 1, 2014.
LEGAL DESCRIPTION	BEING 6.31 ACRES OF LAND OUT OF THE ALEXANDER WALTERS SURVEY NUMBER 67, TRAVIS COUNTY, TEXAS, AND BEING A PORTION OF THAT 35.159 ACRES OF LAND GRANTED TO 1305 WELLS BRANCH LP IN SPECIAL WARRANTY DEED RECORDED IN DOCUMENT NUMBER 2020030783, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.
RECHARGE ZONE	THIS SITE IS NOT LOCATED IN THE EDWARDS AQUIFER RECHARGE ZONE.
RELATED CASES:	
RELATED REPORTS & STUDIES:	1) ENGINEER'S REPORT AND HYDROLOGY ANALYSIS, PSCE, INC. DATED 04/04/2022 2) TRAFFIC IMPACT ANALYSIS, TRAFFIC IMPACT GROUP, LLC, DATED 04/X/2022
ZONING	GENERAL BUSINESS (GB1) - FULL CITY OF PFLUGERVILLE JURISDICTION

2022-3-PP

PRELIMINARY PLAN REVIEW NUMBER

REVISIONS / CORRECTIONS

NO.	DESCRIPTION	REVISE (R) ADD (A) VOID (V) SHEET NOS.	TOTAL NO OF SHEETS IN PLAN SET	CITY OF PFLUGERVILLE APPROVAL / DATE	DESIGN ENGINEER SIGNATURE
C1	WASTEWATER LINE UPDATED	2, 3, 4, & 10	10		

Preliminary Plan
APPROVED
City of Pflugerville
02/14/2023

SHEET
1
OF 10

VILLAGE AT WELLS BRANCH SECTION 2

CURVE	RADIUS	CHORD LENGTH	CHORD BEARING	ARC LENGTH
CE1	15.00'	21.21'	S 31°45'08" E	23.56'
CE2	20.00'	28.28'	N 58°14'52" E	31.42'
CE3	1311.05'	30.00'	S 76°45'08" E	30.00'
CE4	20.00'	28.28'	S 31°45'08" E	31.42'
CE5	20.00'	28.28'	S 31°45'08" E	31.42'
CE6	440.00'	42.15'	S 36°38'43" W	42.17'
CE7	20.00'	18.64'	N 48°58'24" W	19.39'

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
LE1	S 78°15'14" E	0.98'	LE13	N 13°14'52" E	59.30'
LE2	S 78°15'14" E	30.01'	LE14	S 78°15'14" E	115.25'
LE3	S 13°14'52" W	15.09'	LE15	S 78°15'14" E	17.23'
LE4	S 76°45'08" E	394.71'	LE16	S 17°43'40" E	6.41'
LE5	N 13°14'52" E	20.89'	LE17	S 27°39'37" W	251.88'
LE6	S 13°14'52" W	20.89'	LE18	S 17°22'25" E	11.74'
LE7	S 76°45'08" E	110.27'	LE19	S 62°24'27" E	151.19'
LE8	S 13°14'52" W	50.05'	LE20	S 27°35'33" W	15.00'
LE9	S 76°45'08" E	18.47'	LE21	N 62°24'27" W	157.41'
LE10	N 76°45'08" W	35.24'	LE22	N 17°22'25" W	24.18'
LE11	N 13°14'52" E	70.05'	LE23	N 27°39'37" E	251.83'
LE12	N 76°45'08" W	589.99'	LE24	N 17°43'40" W	8.61'

LINE	BEARING	DISTANCE
L1	S 20°44'36" W	1.98'
(L1)	(S 20°44'36" W)	(1.98')

CURVE	RADIUS	CHORD LENGTH	CHORD BEARING	ARC LENGTH
C1	1940.00'	323.67'	S 73°29'22" E	324.05'
(C1)	(1940.00')	(323.98')	(S 73°28'08" E)	(324.36')
C2	1940.00'	263.84'	S 74°22'32" E	264.05'
C3	1940.00'	60.00'	S 69°33'25" E	60.01'
C4	500.00'	227.30'	S 33°52'53" W	229.30'
(C4)	(500.00')	(227.30')	(S 33°52'53" W)	(229.30')
C5	440.00'	148.22'	S 37°19'21" W	148.93'
(C5)	(440.00')	(148.22')	(S 37°19'21" W)	(148.93')
C6	440.00'	201.61'	S 33°46'30" W	203.42'
C7	500.00'	38.19'	S 44°49'30" W	38.20'
C8	500.00'	130.66'	S 35°08'02" W	131.04'

LEGEND

- 1/2" ROD FOUND
- 1/2" ROD W/CAP SET "ALLSTAR 5729"
- ✕ "X" SCRIBE FOUND IN CONC.
- AE ACCESS ESMT
- DE DRAINAGE ESMT
- EE ELECTRIC ESMT
- TE TELEPHONE ESMT
- PUE PUBLIC UTILITY ESMT
- WLE WATERLINE ESMT
- WWE WASTEWATER ESMT
- () RECORD INFORMATION
- SIDEWALK (HEREBY DEDICATED)
- /// JOINT ACCESS EASEMENT

OWNER: 1305 WELLS BRANCH LP,
A TEXAS LIMITED PARTNERSHIP
110 SAN ANTONIO STREET, SUITE 1706
AUSTIN, TEXAS 78701

ACREAGE: 274,728.30 SQ. FT. - 6.31 ACRES
NUMBER OF BLOCKS: 1
NUMBER OF LOTS: 3 - COMMERCIAL
1 - DRAINAGE
1 - NEW STREET

SUBMITTAL DATE: 02/28/2022
DATE OF REVISION: 03/15/2022

SURVEYOR: ALL STAR LAND SURVEYING - FIRM: 10135000
9020 ANDERSON MILL ROAD, AUSTIN, TEXAS 78729
(512) 249-8149 REF# A0109422

ENGINEER: PROFESSIONAL STRUCIVIL ENGINEERS, INC. - TBPE
NO. F-4951
2205 W. PARMER LANE, SUITE 201
AUSTIN, TEXAS 78727

PROJECT DATUM: NORTH AMERICAN DATUM 1983 (NAD 83)
PROJECTION: TEXAS STATE PLANE -
CENTRAL ZONE (4203)
UNITS: US SURVEY FEET

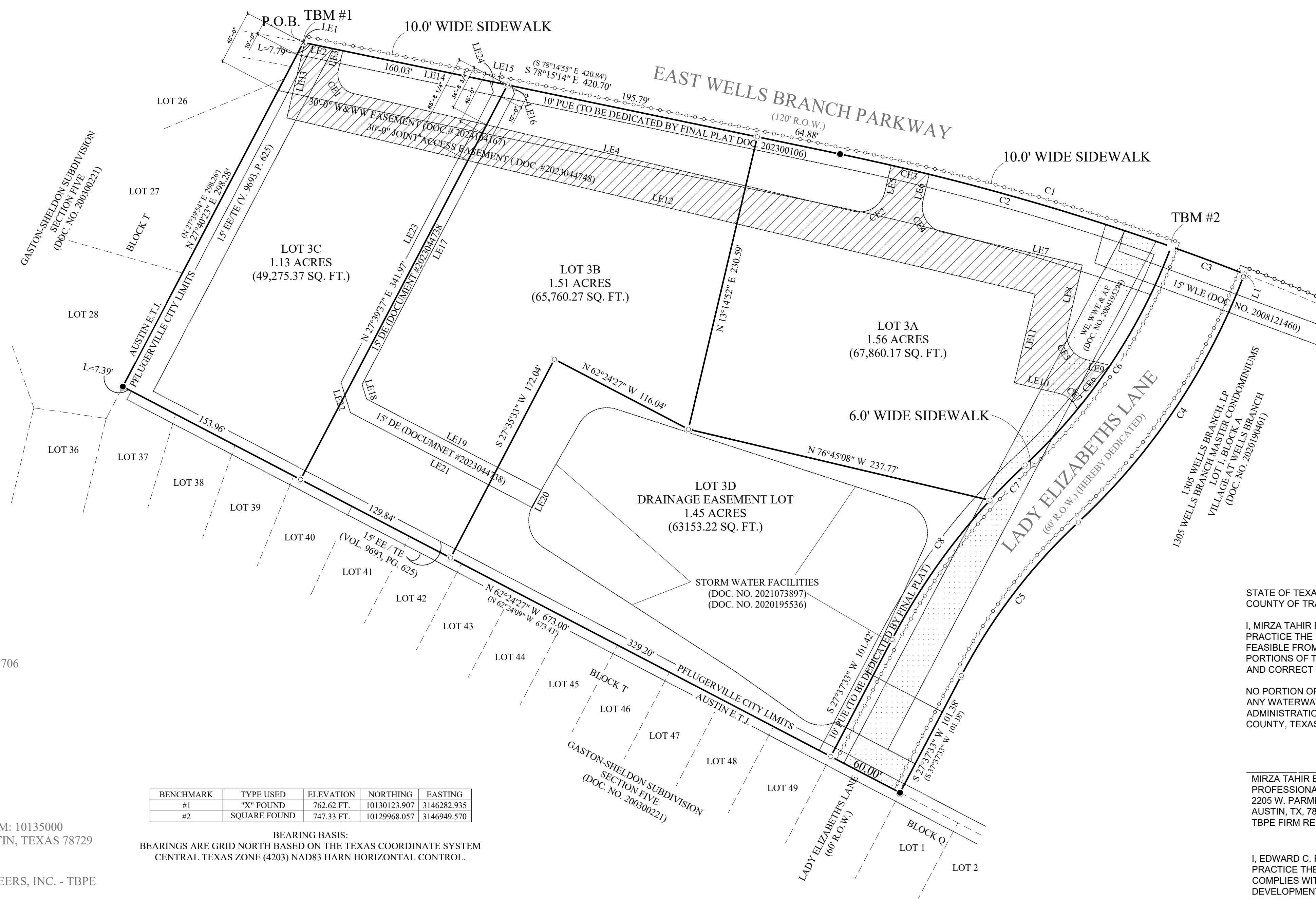
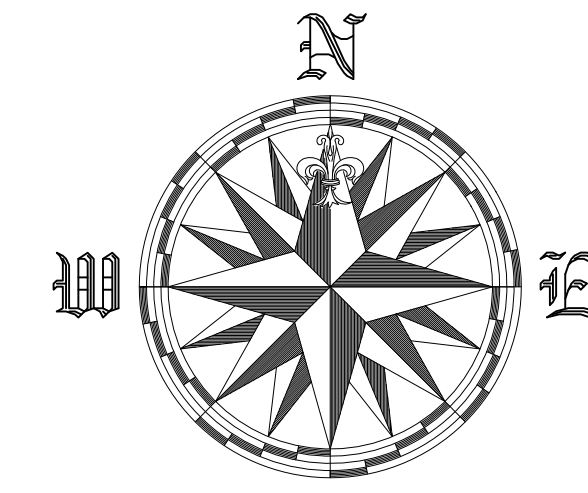
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BEARING BASIS:
BEARINGS ARE GRID NORTH BASED ON THE TEXAS COORDINATE SYSTEM
CENTRAL TEXAS ZONE (4203) NAD83 HARN HORIZONTAL CONTROL.

STREET NOTE:
THE LADY ELIZABETH LANE SHALL BE BUILT BY THIS DEVELOPMENT, AND SEPARATE PUBLIC INFRASTRUCTURE
SUBDIVISION CONSTRUCTION PLAN SHALL BE SUBMITTED FOR THE CITY OF PFLUGERVILLE APPROVAL.



SITE LOCATION MAP



STATE OF TEXAS
COUNTY OF TRAVIS

I, MIRZA TAHIR BAIG, P.E., AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING AND HEREBY CERTIFY THAT THIS PLAT IS FEASIBLE FROM AN ENGINEERING STANDPOINT AND COMPLIES WITH THE ENGINEERING PORTIONS OF THE TITLE 25 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

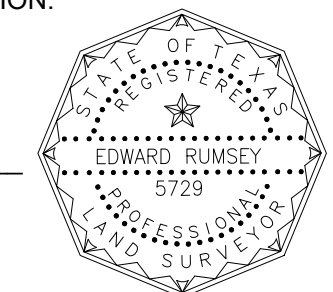
NO PORTION OF THIS TRACT IS WITHIN THE BOUNDARIES OF THE 100 YEAR FLOODPLAIN OF ANY WATERWAY THAT IS WITHIN THE LIMITS OF STUDY OF THE FEDERAL FLOOD INSURANCE ADMINISTRATION FIRM PANEL # 48453C0270J DATED 08/18/2014, CITY OF AUSTIN, TRAVIS COUNTY, TEXAS.

MIRZA TAHIR BAIG, P.E.
PROFESSIONAL STRUCIVIL ENGINEERS, INC.
2205 W. PARMER LN., STE. 201
AUSTIN, TX, 78727
TBPE FIRM REGISTRATION NO. F-4951

04/04/2022
DATE

I, EDWARD C. RUMSEY, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH THE SURVEYING PORTIONS OF TITLE 25 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, AND WAS PREPARED FROM AN ACTUAL ON THE GROUND SURVEY OF THE PROPERTY MADE UNDER MY DIRECTION AND SUPERVISION.

EDWARD C. RUMSEY R.P.L.S. # 5729
9020 ANDERSON MILL ROAD
AUSTIN, TEXAS 78729
REF# A0109422



04/04/2022
DATE

Proj.	Sheet	Date	Description
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PROFESSIONAL STRUCIVIL ENGINEERS, INC.
CONSULTING CIVIL AND STRUCTURAL ENGINEERS
2205 WEST PARMER LANE, SUITE 201, AUSTIN, TX 78727 | TEL: 512.238.6422 | PECO@proseinc.com

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Project: VILLAGE AT WELLS BRANCH SECTION 2
1305 E WELLS BRANCH PKWY
CITY OF PFLUGERVILLE, TEXAS

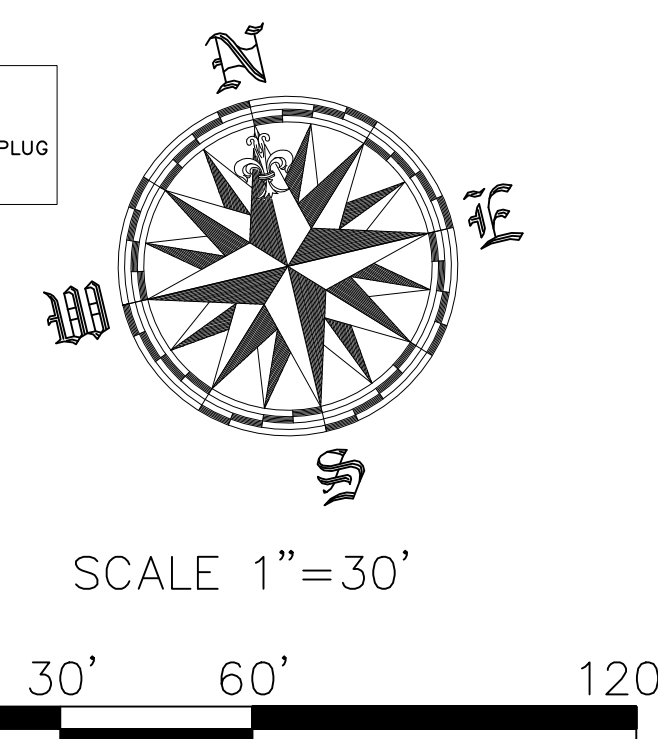
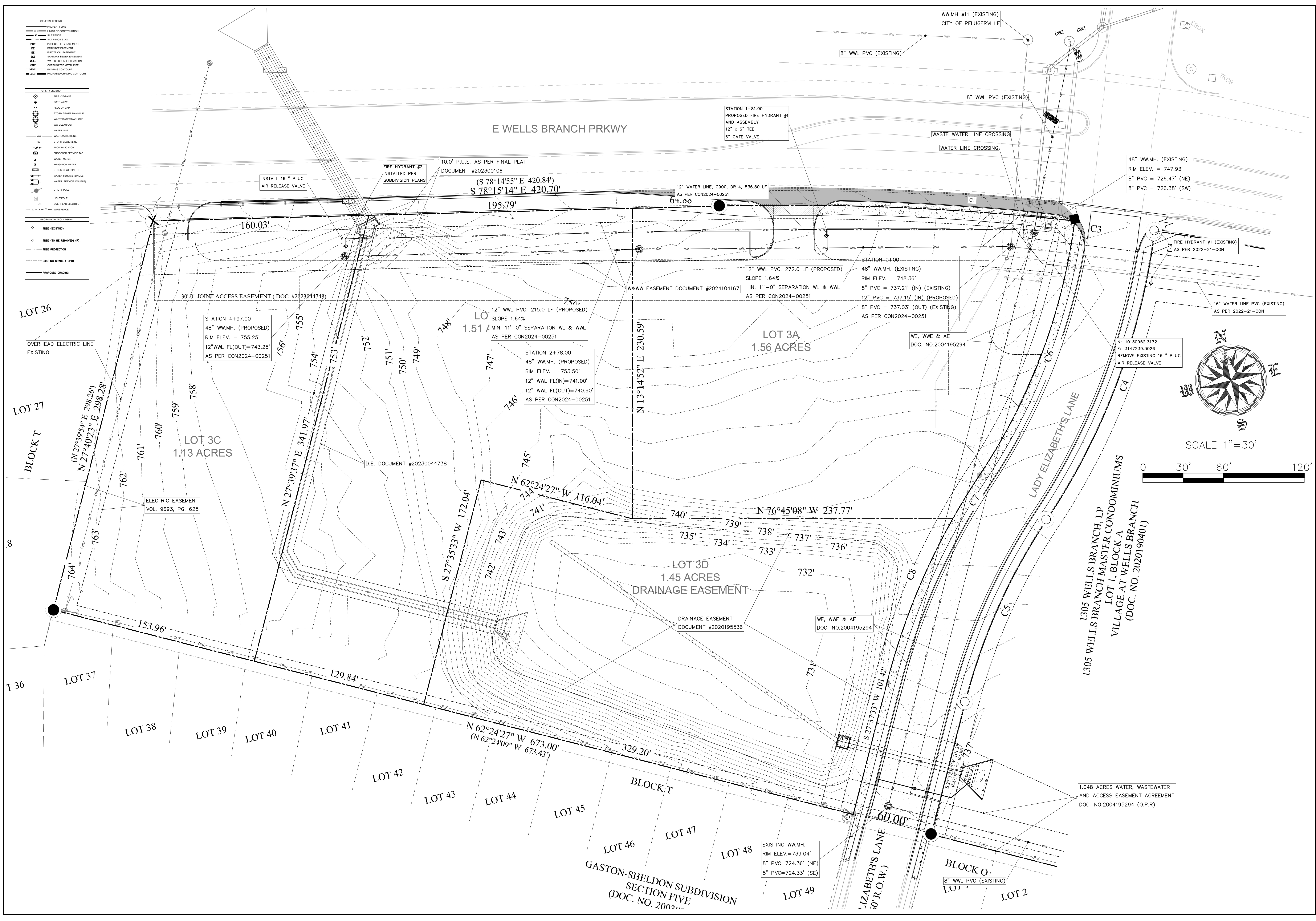
Title: PRELIMINARY PLAN

PROJECT: 30717

SHEET: 2 OF 10

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT AND SHALL REMAIN THE PROPERTY OF THE FIRM. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE FIRM. THE FIRM AND ITS ENGINEERS SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THIS DRAWING. THE FIRM AND ITS ENGINEERS SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THIS DRAWING.

GENERAL LEGEND	
[Symbol]	PROPERTY LINE
[Symbol]	LIMITS OF CONSTRUCTION
[Symbol]	SETBACK
[Symbol]	ELECTRIC SERVICE
[Symbol]	WATER SERVICE
[Symbol]	WASTEWATER SERVICE
[Symbol]	STORM SERVICE
[Symbol]	EXISTING CONDUITS
[Symbol]	PROPOSED GRADING CONTOURS
UTILITY LEGEND	
[Symbol]	FIRE HYDRANT
[Symbol]	GATE VALVE
[Symbol]	PLUG OR CAP
[Symbol]	STORM SERVICE MANHOLE
[Symbol]	WASTEWATER MANHOLE
[Symbol]	WW CLEAN-OUT
[Symbol]	WATER LINE
[Symbol]	WASTEWATER LINE
[Symbol]	STORM SERVICE LINE
[Symbol]	FLOW INDICATOR
[Symbol]	PROPOSED SERVICE TAP
[Symbol]	WATER METER
[Symbol]	PROPOSED WATER
[Symbol]	STORM SERVICE INLET
[Symbol]	WATER SERVICE (SINGLE)
[Symbol]	WATER SERVICE (DOUBLE)
[Symbol]	UTILITY POLE
[Symbol]	LIGHT POLE
[Symbol]	OVERHEAD ELECTRIC
[Symbol]	WIRE FENCE
EROSION CONTROL LEGEND	
[Symbol]	TREE (EXISTING)
[Symbol]	TREE (TO BE REMOVED) (D)
[Symbol]	TREE PROTECTION
[Symbol]	EXISTING GRADE (TOPO)
[Symbol]	PROPOSED GRADING



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MIRZA TAHIR BAIG, P.E., #82577 ON 10/04/2024 FIRM REGISTRATION F-4951																		
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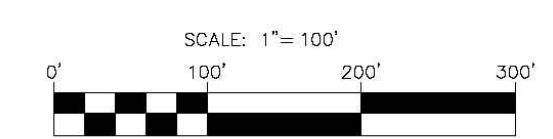
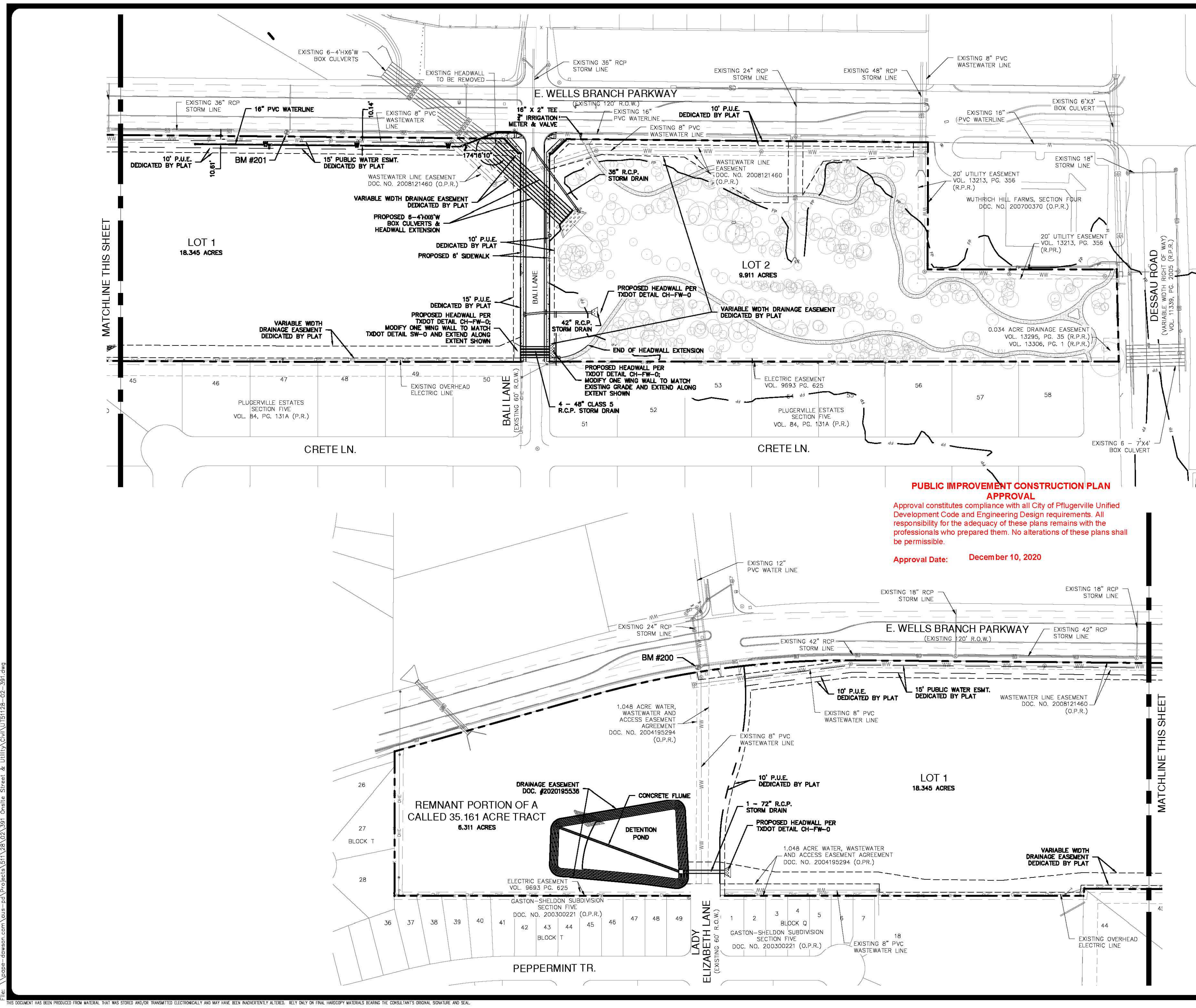
PROFESSIONAL STRUCTURAL ENGINEERS, INC.
CONSULTING CIVIL AND STRUCTURAL ENGINEERS
2205 WEST PARKER LANE, SUITE 210, AUSTIN, TX 78727 | TEL: 512.238.6422 | POC@psinc.com

VILLAGE AT WELLS BRANCH SECTION 2
1305 E WELLS BRANCH PRKWAY
CITY OF PFLUGERVILLE, TEXAS

WATER & WASTEWATER UTILITY PLAN

PROJECT: 30717	SHEET 4 OF 10
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Date: Nov 11, 2020, 1:20pm User ID: Mhromm
 File: Village-at-wells-branch-section-1.dwg
 Plot: Water-connection.com\user-pa\paw\projects\1307\1307-02-301.dwg



LEGEND

- PROPERTY BOUNDARY
- WATER LINE
- STORM DRAIN LINE & MH
- CURB INLET
- EXISTING WATER LINE
- EXISTING WASTEWATER LINE
- EXISTING STORM DRAIN LINE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- 100-YR FLOODPLAIN (PROPOSED CONDITIONS WITH ATLAS 14 FLOWS)
- EXISTING FENCE
- EXISTING OVERHEAD ELECTRIC
- EXISTING WATER VALVE
- EXISTING STORM MANHOLE
- EXISTING WASTEWATER MANHOLE
- EXISTING COMB BOX
- EXISTING LIGHT POST
- EXISTING SIGN
- EXISTING UTILITY POLE
- MONUMENT POINT
- EXISTING ELECTRIC BOX
- TREE TO REMAIN
- 8" CONCRETE HIKING TRAIL
- SEE DETAIL SHEET 26

BENCHMARKS:
 BM #200: CUT SQUARE ON SOUTHWEST CORNER OF CURB INLET
 ELEVATION 748.28
 GRID E 3147234.2261
 GRID N 10131000.2186
 BM #201: CUT SQUARE ON SOUTHWEST CORNER OF CURB INLET
 ELEVATION 714.48
 GRID E 3148372.3289
 GRID N 10130421.8568

- NOTES:**
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE ASSOCIATED WITH THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - PIPE MATERIAL FOR WATER MAINS SHALL BE PVC (AWWA C-900, MIN CLASS 150), OR DUCTILE IRON (AWWA C-150, MIN 150). WATER SERVICES (2" OR LESS) SHALL BE POLYETHYLENE TUBING (200 PS, DR9).
 - WATER LINES SHALL HAVE A MINIMUM FORTY-EIGHT (48) INCHES OF COVER MEASURED FROM EITHER THE TOP OF THE PIPE OR VALVE ACTUATING NUT (WHICHEVER IS APPLICABLE) TO THE FINISHED GROUND SURFACE. WASTEWATER LINES SHALL HAVE A MINIMUM OF 48 INCHES OF COVER BELOW THE ACTUAL SUBGRADE. THE SEPARATION BETWEEN WASTEWATER MAINS AND OTHER UTILITIES SHALL BE IN ACCORDANCE WITH THE RULES ADOPTED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY.
 - WHERE A WATER OR WASTEWATER LINE CROSSES BELOW A STORM SEWER STRUCTURE AND THE TOP OF THE PIPE IS WITHIN 18" OF THE BOTTOM OF THE UTILITY STRUCTURE, THE PIPE SHALL BE ENCASED WITH CONCRETE FOR A DISTANCE OF AT LEAST 1' ON EITHER SIDE OF THE DITCH LINE OF THE UTILITY STRUCTURE OR THE STORM SEWER. CONCRETE ENCASEMENT WILL NOT BE REQUIRED FOR DUCTILE IRON PIPE WITH SIZES LARGER THAN 12" CONCRETE ENCASEMENT SHALL CONFORM TO THE CITY OF PFLUGERVILLE STANDARD DETAIL.
 - ALL PIPE BEDDING MATERIAL SHALL CONFORM TO THE CITY OF PFLUGERVILLE STANDARD DETAIL.
 - ALL FIRE HYDRANT LEADS SHALL BE DUCTILE IRON PIPE (AWWA C-100, MIN. CLASS 150).
 - ALL IRON PIPE AND FITTINGS SHALL BE WRAPPED WITH A MINIMUM 8-MIL POLYETHYLENE FILM PRIOR TO PLACING CONCRETE.
 - THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR TO COORDINATE UTILITY TIES-INS AND NOTIFY HIM AT LEAST 48 HOURS PRIOR TO CONNECTION TO EXISTING LINES.
 - THE CONTRACTOR SHALL COORDINATE TESTING WITH THE CITY OF PFLUGERVILLE AND PROVIDE NO LESS THAN 24 HOURS NOTICE PRIOR TO PERFORMING STERILIZATION, QUALITY TESTING OR PRESSURE TESTING.
 - THE CONTRACTOR SHALL NOT OPEN OR CLOSE ANY VALVES UNLESS AUTHORIZED BY THE CITY OF PFLUGERVILLE.
 - ALL VALVE BOXES AND COVERS SHALL BE CAST IRON.
 - A DOUBLE CHECK SHUT-OFF DEVICE IN A VALVE SHALL BE INSTALLED ADJACENT THE RIGHT OF WAY OR PUBLIC EASEMENT ON PRIVATE PROPERTY ON ALL PRIVATE FIRE LINES.
 - ALL WATER SERVICE, WASTEWATER SERVICE AND VALVE LOCATIONS SHALL BE APPROPRIATELY MARKED AS FOLLOWS:
 WATER SERVICE "W" ON TOP OF CURB
 WASTEWATER SERVICE "S" ON TOP OF CURB
 VALVE "V" ON FACE OF CURB
 - THE CONTRACTOR IS HEREBY NOTIFIED THAT CONNECTING TO, SHUTTING DOWN, OR TERMINATING EXISTING UTILITY LINES MAY HAVE TO OCCUR OFF-PEAK HOURS. SUCH HOURS ARE USUALLY OUTSIDE NORMAL WORKING HOURS AND POSSIBLY BETWEEN 12 A.M. AND 8 A.M.
 - ALL FIRE HYDRANTS SHALL BE NATIONAL STANDARD HOSE THREAD.
 - ALL MATERIAL TESTS, INCLUDING SOIL DENSITY TESTS AND RELATED SOIL ANALYSIS, SHALL BE ACCOMPLISHED BY AN INDEPENDENT LABORATORY FUNDED BY THE DEVELOPER IN ACCORDANCE WITH THE SPECIFICATIONS.
 - WATER AND WASTEWATER SERVICE SHALL BE PROVIDED BY THE CITY OF PFLUGERVILLE.
 - ALL PROPOSED METERS MUST HAVE A READER FOR THE PUBLIC WORKS DEPARTMENT.

PUBLIC IMPROVEMENT CONSTRUCTION PLAN APPROVAL
 Approval constitutes compliance with all City of Pflugerville Unified Development Code and Engineering Design requirements. All responsibility for the adequacy of these plans remains with the professionals who prepared them. No alterations of these plans shall be permissible.
 Approval Date: December 10, 2020

NO.	REVISION	DATE

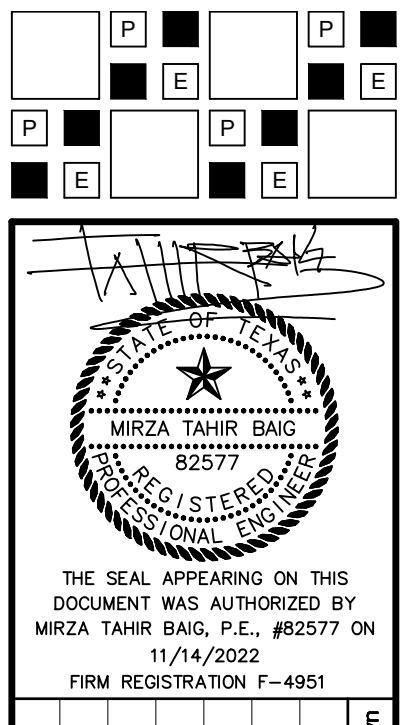
PAPE-DAWSON ENGINEERS
 AUSTIN | SAN ANTONIO | HOUSTON | FORT WORTH | DALLAS
 1007 N. MOPAC EXPY., SUITE 300 | AUSTIN, TX 78701 | 512.464.0101
 TEXAS PROFESSIONAL ENGINEERING #142882

VILLAGE AT WELLS BRANCH PUBLIC INFRASTRUCTURE PHASE 1 PFLUGERVILLE, TEXAS OVERALL UTILITY PLAN

JOB NO.	51128-02
DATE	AUGUST 2020
DESIGNER	TR
CHECKED BY	BT, DRAWN, KT
SHEET	10 OF 34

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MIRZA TAHIR BAIG, P.E., #82577 ON 11/14/2022 FIRM REGISTRATION F-4951																																																									
<table border="1"> <tr> <th>NO.</th> <th>REVISION</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>6</td> <td></td> <td></td> <td></td> </tr> <tr> <td>5</td> <td></td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> <td></td> </tr> <tr> <td>3</td> <td>ISSUED FOR APPROVAL</td> <td>11/14/22</td> <td></td> </tr> <tr> <td>2</td> <td>ISSUED FOR APPROVAL</td> <td>09/29/22</td> <td></td> </tr> <tr> <td>1</td> <td>ISSUED FOR APPROVAL</td> <td>04/27/22</td> <td></td> </tr> <tr> <td>0</td> <td>ISSUED FOR APPROVAL</td> <td>04/05/22</td> <td></td> </tr> </table>	NO.	REVISION	DATE	DESCRIPTION	6				5				4				3	ISSUED FOR APPROVAL	11/14/22		2	ISSUED FOR APPROVAL	09/29/22		1	ISSUED FOR APPROVAL	04/27/22		0	ISSUED FOR APPROVAL	04/05/22		<table border="1"> <tr> <th>NO.</th> <th>REVISION</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	REVISION	DATE	DESCRIPTION																				
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PROFESSIONAL STRUCTURAL ENGINEERS, INC. CONSULTING CIVIL AND STRUCTURAL ENGINEERS 2205 WEST PARKER LANE, SUITE 410, AUSTIN, TX 78721 TEL: 512.238.6422 pape@papeinc.com TEXAS PROFESSIONAL ENGINEERING #142882																																																									
VILLAGE AT WELLS BRANCH SECTION 2 1305 E WELLS BRANCH PKWY CITY OF PFLUGERVILLE, TEXAS OVERALL UTILITY PLAN																																																									
PROJECT: 30717	SHEET: 5 OF 10																																																								

PRELIMINARY PLAN HAS BEEN APPROVED | VILLAGE AT WELLS BRANCH PHASE 1
FOR INFORMATION ONLY
 CON2008-01
 Preliminary Plan APPROVED City of Pflugerville 02/14/2023



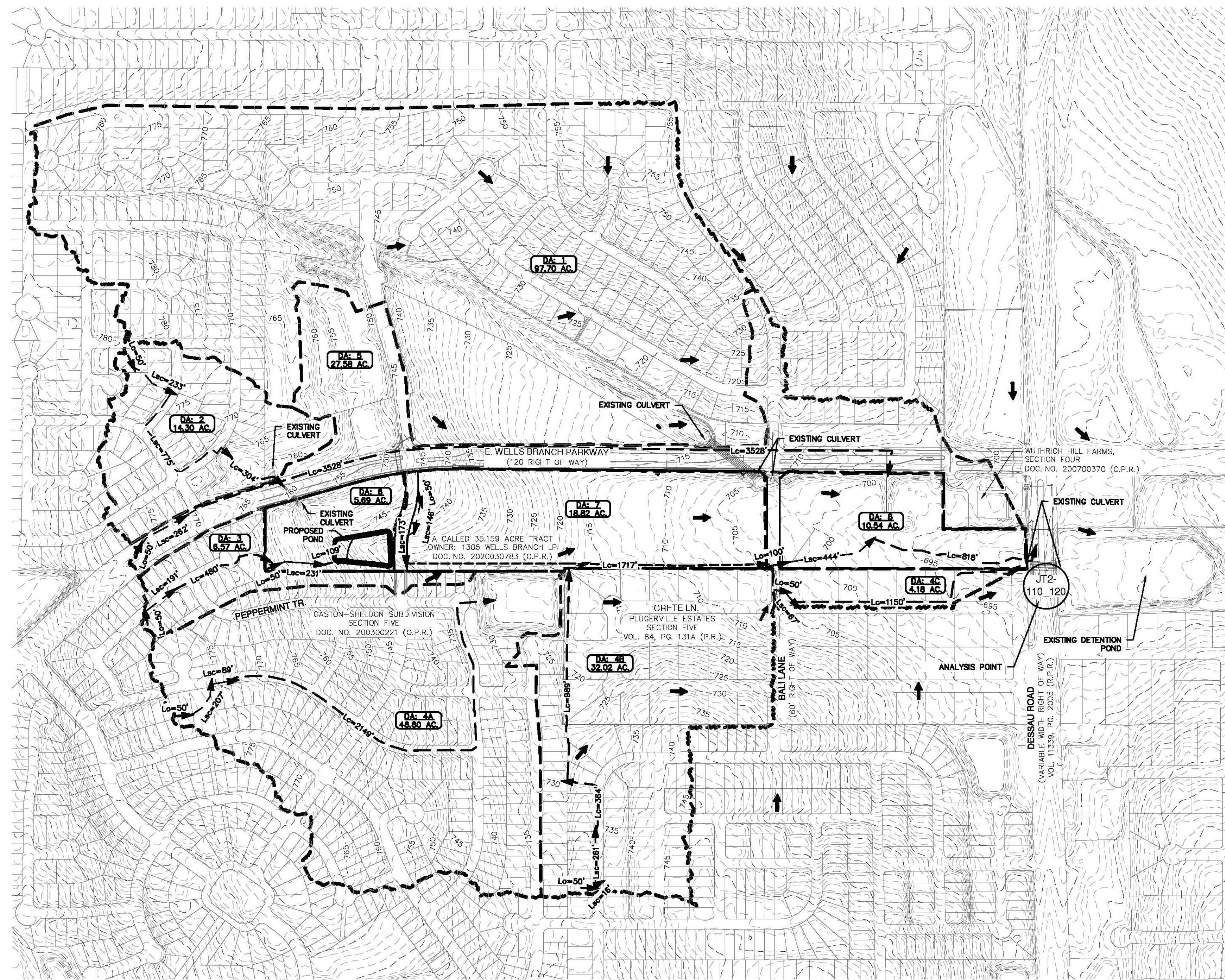
NO.	REVISION	DATE	Drawn
6			
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3	ISSUED FOR APPROVAL	11/14/22	
2	ISSUED FOR APPROVAL	09/29/22	
1	ISSUED FOR APPROVAL	04/27/22	
0	ISSUED FOR APPROVAL	04/05/22	

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MIRZA TAHIR BAIG, P.E., #82577 ON 11/14/2022
FIRM REGISTRATION F-4951

PROFESSIONAL STRUCTURAL ENGINEERS, INC.
CONSULTING CIVIL AND STRUCTURAL ENGINEERS
2205 WEST PARKER LANE, SUITE 410, AUSTIN, TX 78721 | TEL: 512.238.6422 | FAX: 512.238.6471
AUSTIN | SAN ANTONIO | HOUSTON | FORT WORTH | DALLAS
10808 N. MURPHY DR., SUITE 300, AUSTIN, TX 78753 | 512.464.8711
TX REG. FIRM REGISTRATION #10288851

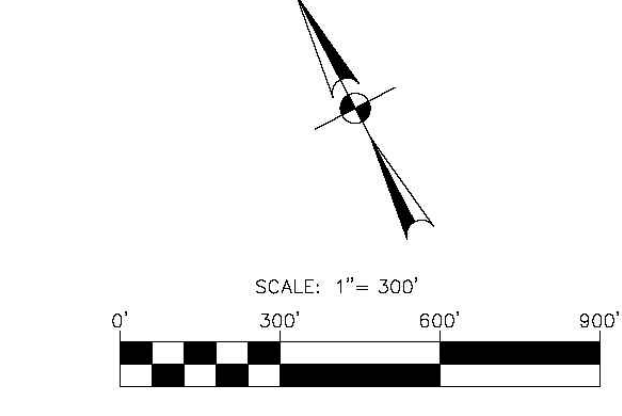
VILLAGE AT WELLS BRANCH SECTION 2
1305 E WELLS BRANCH PKWY
CITY OF PFLUGERVILLE, TEXAS
Title: **PROPOSED OVERALL DRAINAGE AREA MAP**

PROJECT	NO.	DATE	Drawn
30717			



PUBLIC IMPROVEMENT CONSTRUCTION PLAN APPROVAL
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Approval Date: December 10, 2020



LEGEND

---	UNIT BOUNDARY
---	EXISTING CONTOUR
---	PROPOSED ATLAS 14 FLOODPLAIN
---	DRAINAGE AREA BOUNDARY
---	OVERLAND FLOW
---	SHALLOW CONCENTRATED FLOW
---	CHANNELIZED FLOW
---	DIRECTION OF FLOW
---	DRAINAGE CALCULATION POINT
---	DRAINAGE AREA LABEL

- NOTES:**
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE ASSOCIATED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - EXISTING CONTOUR INFORMATION SHOWN IS AT 1 FOOT INTERVALS. THE CONTOURS ARE COMPUTER GENERATED USING LIDAR DATA FROM FEBRUARY 2020.
 - THE LAG TIME FROM THE EFFECTIVE MODELS WERE USED FOR PRE- AND POST-PROJECT CONDITIONS.
 - PROPOSED LOTS 1 & 2 CURVE NUMBERS ARE BASED ON AN ESTIMATED BOX IMPERVIOUS COVER.
 - THE TIME OF CONCENTRATION FOR AREA DA1 WAS USED FROM THE APPROVED PAPE-DAWSON LOMR REPORT "IDEA SCHOOL IMMANUEL ROAD SUBDIVISION PFLUGERVILLE, TX".

HEC-HMS Element	Pre-Project Flows			
	2-year (cfs)	10-year (cfs)	25-year (cfs)	100-year (cfs)
JT2-110_120	750	1,425	1,825	2,300

HEC-HMS Element	Post-Project Flows			
	2-year (cfs)	10-year (cfs)	25-year (cfs)	100-year (cfs)
JT2-110_120	745	1,405	1,785	2,300

HEC-HMS Element	% Difference			
	2-year (cfs)	10-year (cfs)	25-year (cfs)	100-year (cfs)
JT2-110_120	-0.67%	-1.40%	-2.19%	0.00%

HEC-HMS Element	Area (ac)	Area (sq. mi.)	Single Family (Approx. 1/4 Acre Lot)		Single Family (Approx. 1/2 Acre Lot)			Commercial / Industrial				Multi-Family / Mixed Use				Undeveloped / Range				Floodplain				Pavement	Water	Weighted Curve Number	Weighted Percent Impervious							
			HSG-B	HSG-C	HSG-D	HSG-B	HSG-C	HSG-D	HSG-B	PS HSG-B	HSG-C	PS HSG-C	HSG-D	PS HSG-D	HSG-B	PS HSG-B	HSG-C	PS HSG-C	HSG-D	PS HSG-D	HSG-B	PS HSG-B	HSG-C					PS HSG-C	HSG-D	PS HSG-D				
DA1	97.70	0.153	0.00	49.59	22.09	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	77	33	
DA2	14.30	0.022	0.00	12.41	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	74	42	
DA3	6.57	0.010	0.00	6.54	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	74	38	
DA4A	48.80	0.076	0.00	43.76	2.32	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.72	76	36	
DA4B	32.02	0.050	0.00	7.93	6.72	0.00	7.63	9.62	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.12	77	31	
DA4C	4.18	0.007	0.00	0.00	0.00	0.33	0.00	3.84	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	78	25	
DA5	27.58	0.043	0.00	4.02	0.10	0.00	0.00	0.00	0.00	0.00	2.31	0.00	1.41	0.00	5.19	0.00	0.00	0.00	0.00	0.00	2.37	0.00	0.17	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	11.79	85	71
DA6	5.69	0.009	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	75	71
DA7	18.82	0.029	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.08	0.00	10.10	0.00	8.58	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	77	75	
DA8	10.54	0.016	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.38	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	70	10		

Date: Nov 11, 2023, 10:57am, User: B. Williams
 File: Pape-Dawson.com\Users\BWilliams\Projects\311138\01\212 PrelimPlan\CA\VD51128-01.dwg
 This document has been produced from material that was stored and/or transmitted electronically and may have been inaccurately altered. Rely only on hard copy materials bearing the consultant's original, signed, and sealed.

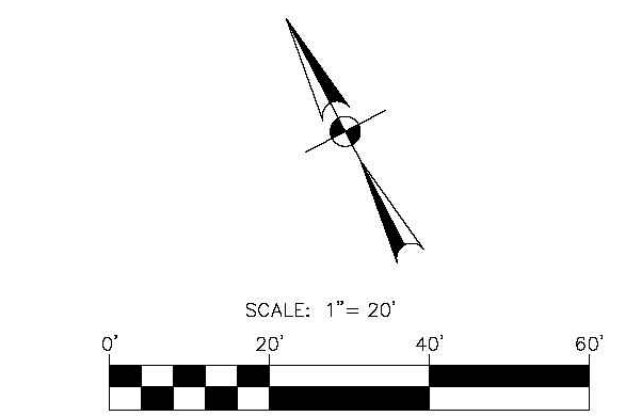
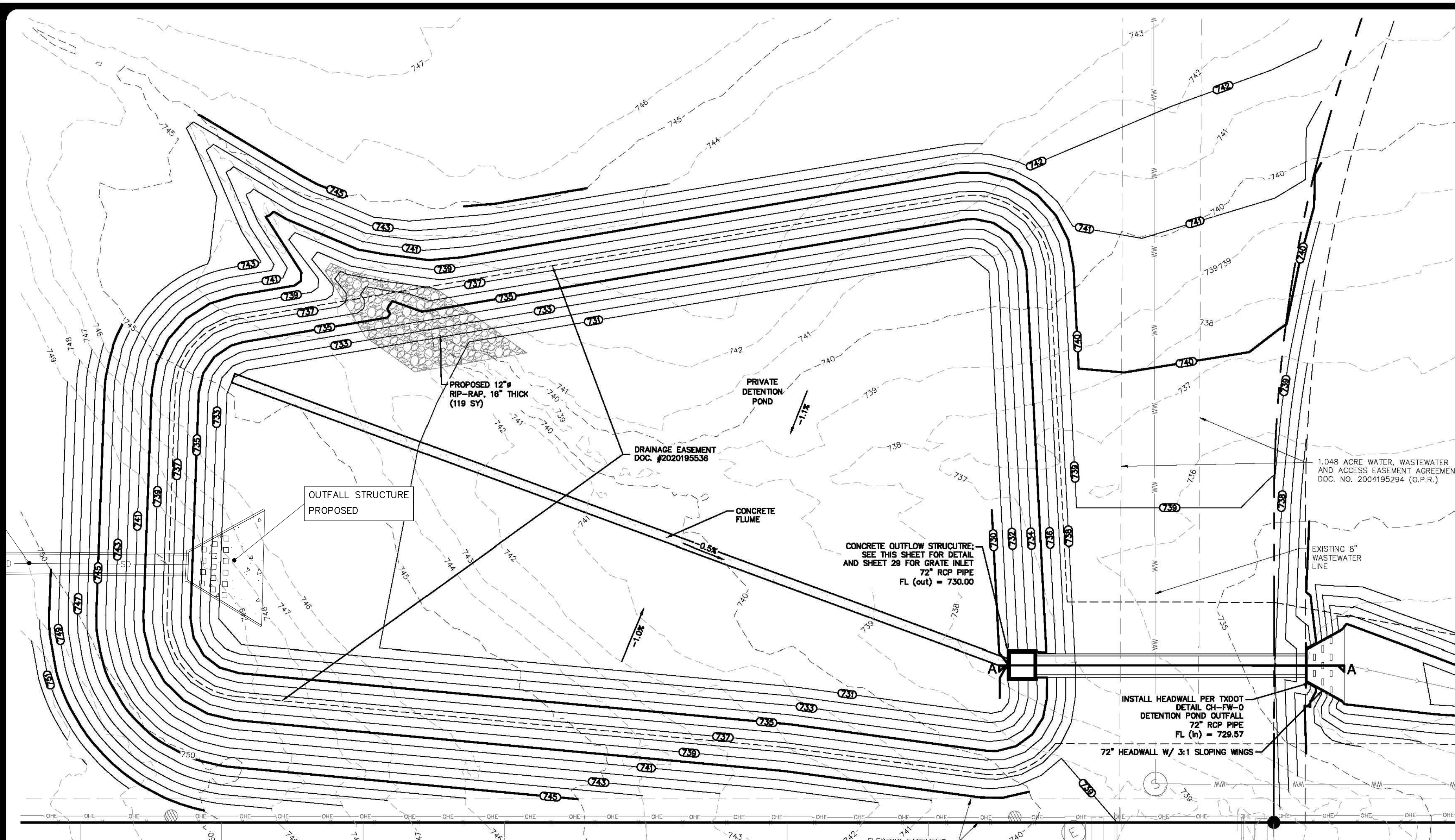
FOR INFORMATION ONLY

PRELIMINARY PLAN HAS BEEN APPROVED | VILLAGE AT WELLS BRANCH PHASE 1

CON2008-01

Preliminary Plan APPROVED
 City of Pflugerville
 02/14/2023

PROPOSED BOX CULVERT, 451.59LF
 TxDOT BOX CULVERT 5'-0"X3'-0"
 AS PER TxDOT DTL. SCP-5



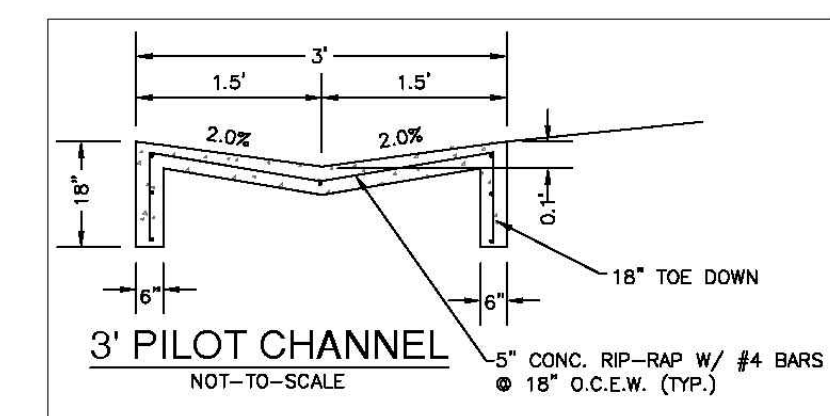
LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOURS

NOTES:
 1. FOR DRAINAGE CALCULATIONS AND ANALYSIS, REFERENCE VILLAGE AT WELLS BRANCH FLOOD STUDY DATED 9/21/2020.

OUTLET RATING TABLE

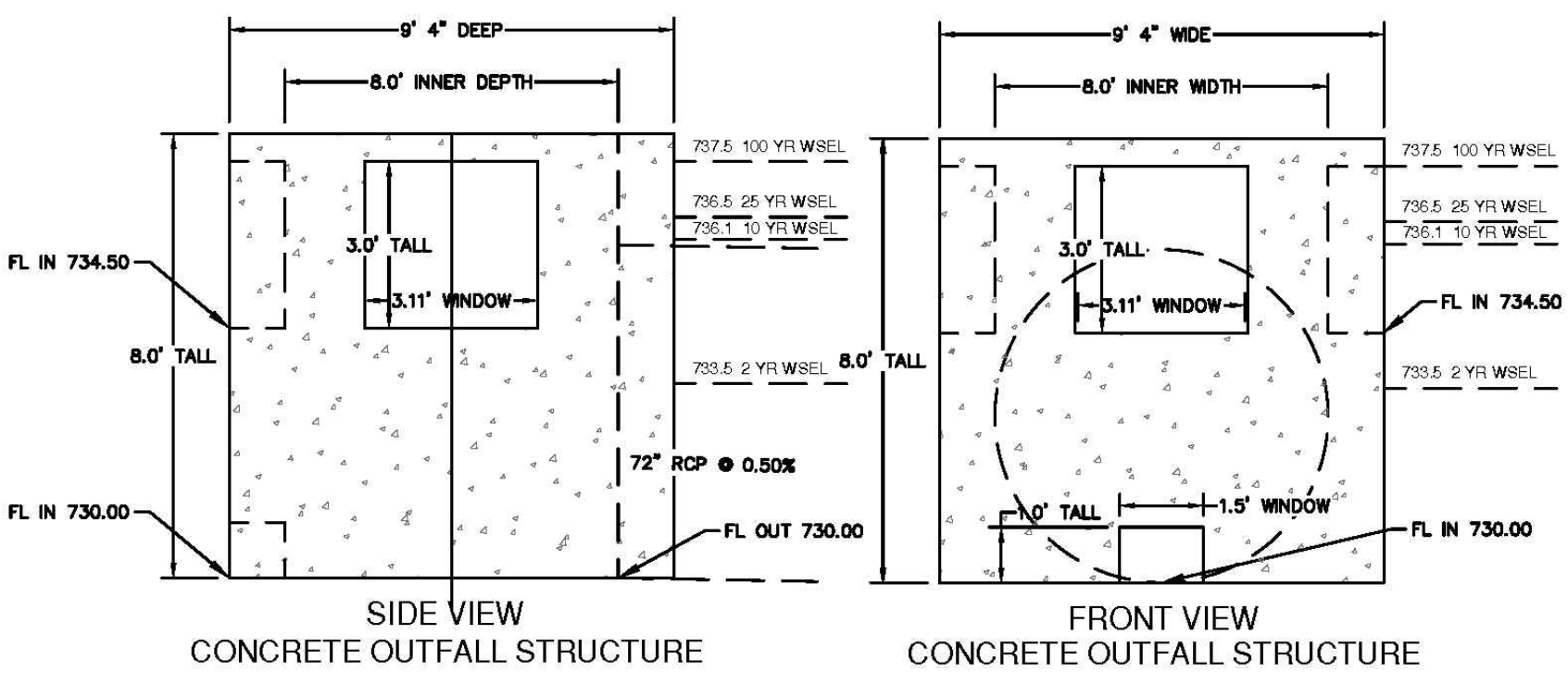
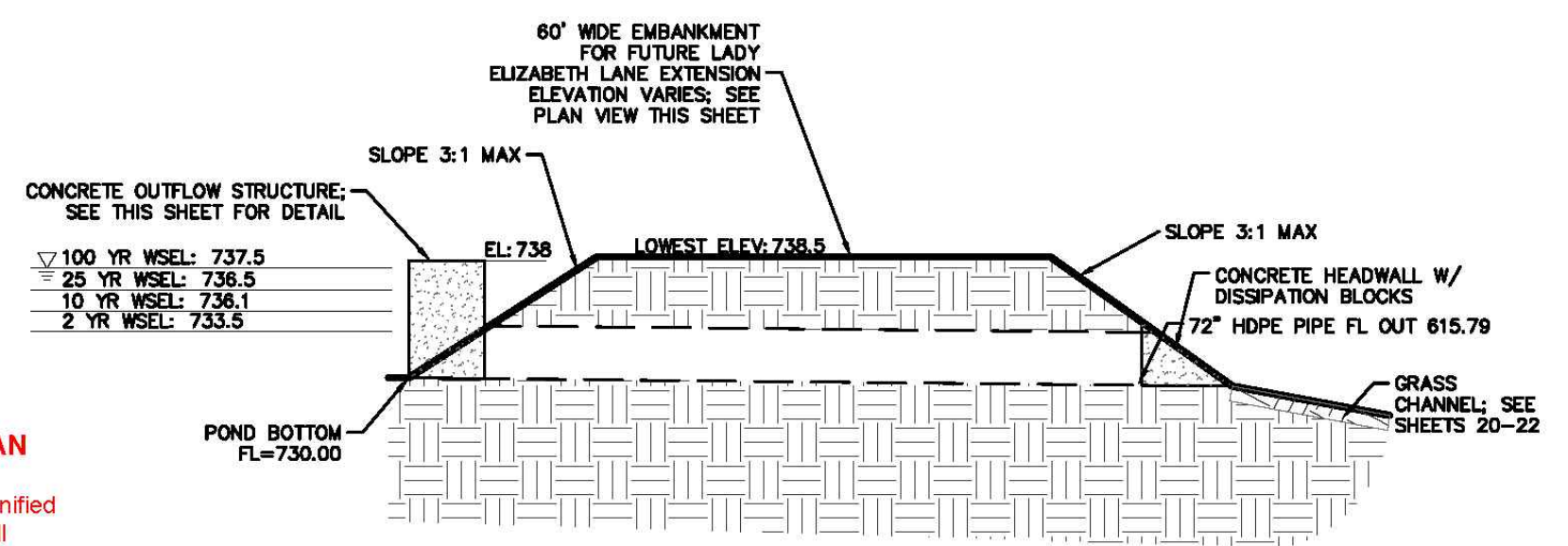
Elevation (ft)	Flow (cfs)
730.0	0
731.0	0.4
732.0	0.1
733.0	1.9
734.0	3.8
735.0	9.6
736.0	24.3
737.0	61.5
737.5	97.6



DETENTION POND

Elev. (ft)	Pr. Area (ft ²)	Area (ac)	Incremental Volume (ft ³)	Cumulative Volume (ft ³)
730	0	0.000000	0	0
731.0	22,590	0.518602	11,295	11,295
732.0	29,638	0.680394	26,114	37,409
733.0	31,829	0.730685	30,733	68,143
734.0	34,164	0.784308	32,997	101,139
735.0	36,496	0.837639	35,230	136,469
736.0	38,865	0.892688	37,690	174,160
737.0	41,330	0.948796	40,107	214,267
737.5	42,573	0.977346	20,976	235,243

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REGIONAL POND DRAINAGE SUMMARY TABLE

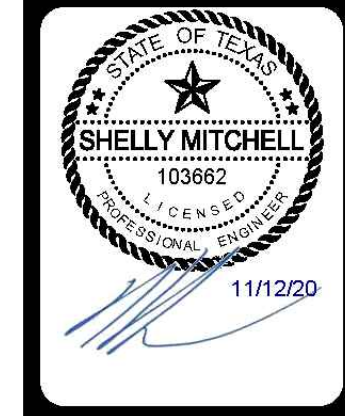
RAINFALL	Q' PRE DEVELOPED	Q' POST DEVELOPED	DIFFERENCE
100YRS	cfs	cfs	%
25YRS	2,300	2,300	0.00
10YRS	1,825	1,785	-2.19
2YRS	1,425	1,405	-1.40
	750	745	-0.67

LOCAL POND DRAINAGE SUMMARY TABLE
 DRAINAGE AREA DA-6 (5.65 ACRES)

RAINFALL	Q' PRE DEVELOPED	Q' POST DEVELOPED	DIFFERENCE	WSEL
100YRS	cfs	cfs	cfs	ft
25YRS	39.58	48.40	8.82	737.50
10YRS	25.62	33.49	7.87	736.50
2YRS	18.28	25.54	7.26	736.10
	8.78	14.83	6.05	733.50

CON2008-01

NO. REVISION DATE



PARE-DAWSON ENGINEERS
 10801 N. MOORE EXPY. BLDG. 3, STE. 400 | AUSTIN, TX 78758 | 512.464.6711
 TEXAS FIRM REGISTRATION #1021 | TEXAS FIRM REGISTRATION #1020851

VILLAGE AT WELLS BRANCH PUBLIC INFRASTRUCTURE PHASE 1
 PFLUGERVILLE, TEXAS
 DETENTION POND PLAN

JOB NO. 51128-02
 DATE AUGUST 2020
 DESIGNER TR
 CHECKED BT DRAWN KT
 SHEET 19 OF 34

PROFESSIONAL STRUCTURAL ENGINEERS, INC.
 CONSULTING CIVIL AND STRUCTURAL ENGINEERS
 2205 WEST PARKER LANE, SUITE 210, AUSTIN, TX 78727 | TEL: 512.238.6422 | paco@pacoengineers.com

VILLAGE AT WELLS BRANCH SECTION 2
 1305 E WELLS BRANCH PKWY
 CITY OF PFLUGERVILLE, TEXAS

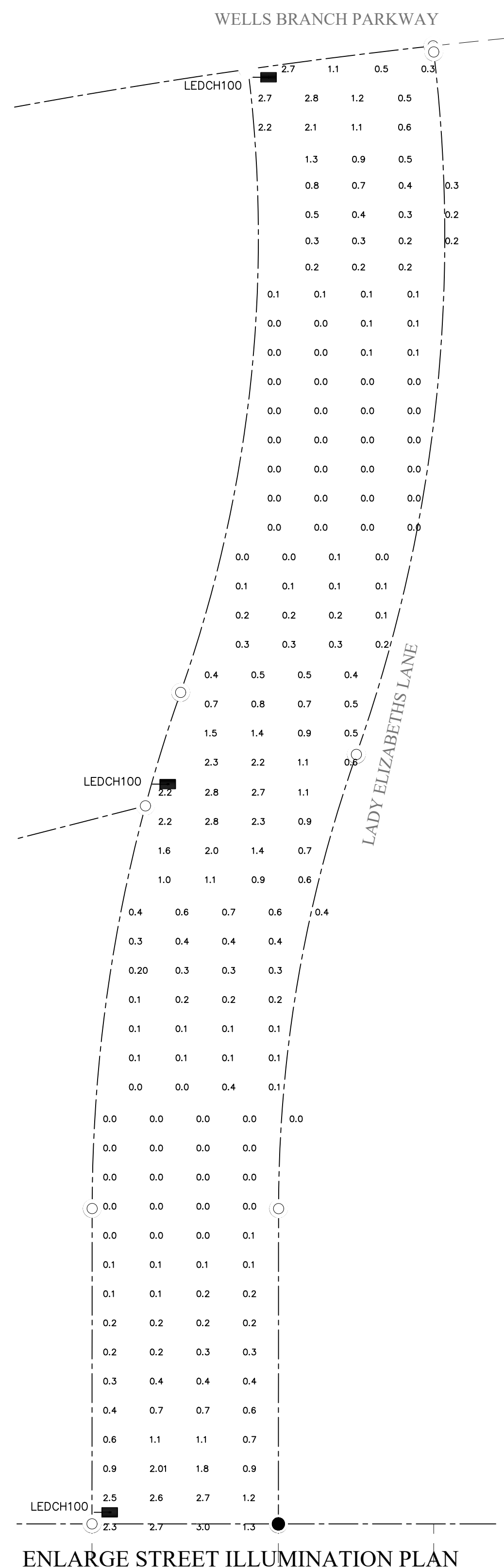
DETENTION POND PLAN

PROJECT: 30717
 SHEET: 8 OF 10

DATE: 02/14/2023

APPROVED
 City of Pflugerville

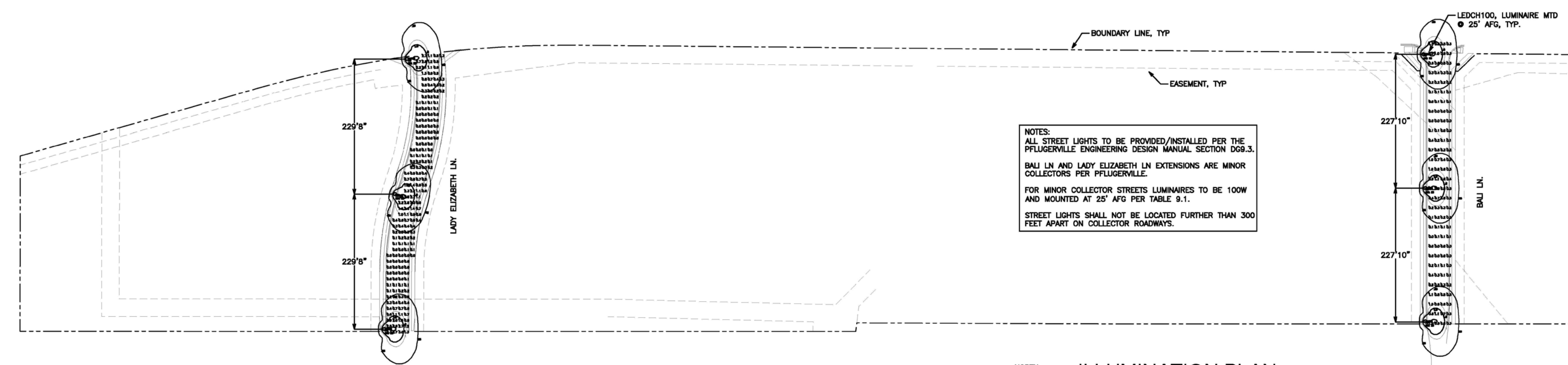
FOR INFORMATION ONLY
 PRELIMINARY PLAN HAS BEEN APPROVED | VILLAGE AT WELLS BRANCH PHASE 1



ENLARGE STREET ILLUMINATION PLAN

STREETLIGHTS SHALL BE INSTALLED AND IN FULL WORKING ORDER WITH THE PUBLIC IMPROVEMENTS.
 ALL STREETLIGHTS SHALL BE IN CONFORMANCE WITH ALL CITY OF PFLUGERVILLE ORDINANCES INCLUDING
 BUT NOT LIMITED TO BEING DOWNCAST AND FULL CUT OFF TYPE.

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NOTES:
 ALL STREET LIGHTS TO BE PROVIDED/INSTALLED PER THE PFLUGERVILLE ENGINEERING DESIGN MANUAL SECTION DGG.3.
 BAU LN AND LADY ELIZABETH LN EXTENSIONS ARE MINOR COLLECTORS FOR PFLUGERVILLE.
 FOR MINOR COLLECTOR STREETS LUMINAIRES TO BE 100W AND MOUNTED AT 25' AFG PER TABLE 9.1.
 STREET LIGHTS SHALL NOT BE LOCATED FURTHER THAN 300 FEET APART ON COLLECTOR ROADWAYS.

ILLUMINATION PLAN
 1" = 100'-0"
 ELECTRICAL LAYOUT

Cobra Head Luminaire 213-105
 12-19

Item	Qty	Description	TSN/Ref	CU
1	0-1	LED Luminaire, Cobra Head, 0-95 W, Type III, 120-277 V	902644	LEDCH105
1	0-1	LED Luminaire, Cobra Head, 96-100 W, Type III, 120-277 V	902645	LEDCH100
1	0-1	LED Luminaire, Cobra Head, 101-140 W, Type III, 120-277 V	902646	LEDCH140
1	0-1	LED Luminaire, Cobra Head, 141-180 W, Type III, 120-277 V	902647	LEDCH180
1	0-1	LED Luminaire, Cobra Head, 181-256 W, Type III, 120-277 V	902648	LEDCH256
1	0-1	High Pressure Sodium Luminaire		
2	1	Bracket, Galvanized Steel		
3	1	Round Pole, Galvanized Steel, Anchor Base		
4	1	Precast Foundation		
5	1	Grounding	213-020	
6	1	Fusing	213-025	

ONCOR
 Page 1 of 4

ALL STREET LIGHTS TO BE PROVIDED BY ONCOR.

REVISIONS

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RAYMOND ENGINEERING
 3308 TAMPA RD, STE. 101
 MCKINNEY, TX 75064
 E-MAIL: Bill.Patterson@RaymondEngineering.com

THE VILLAGE AT WELLS BRANCH
 PFLUGERVILLE, TEXAS

DATE: 2020.07.10 DO SET
 CONTROL SEQUENCE:
 - MH -
 - MH -
 SHEET NUMBER:
E-1.1

THE RAYMOND CORPORATION, CONSULTING ENGINEERS (dba) RAYMOND ENGINEERING, INC. IS REGISTERED WITH THE STATE OF TEXAS, # F-997

Project: **VILLAGE AT WELLS BRANCH SECTION 2**
 1305 E WELLS BRANCH PKWY
 CITY OF PFLUGERVILLE, TEXAS

Title: **ILLUMINATION PLAN**

Project: 30717

SHEET: 9 OF 10

DATE: 02/14/2023

APPROVED
 City of Pflugerville

Professional Engineer Seal for Mirza Tahir Baig, License No. 82577, State of Texas.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MIRZA TAHIR BAIG, P.E., #82577 ON 1/14/2022
 FIRM REGISTRATION F-4951

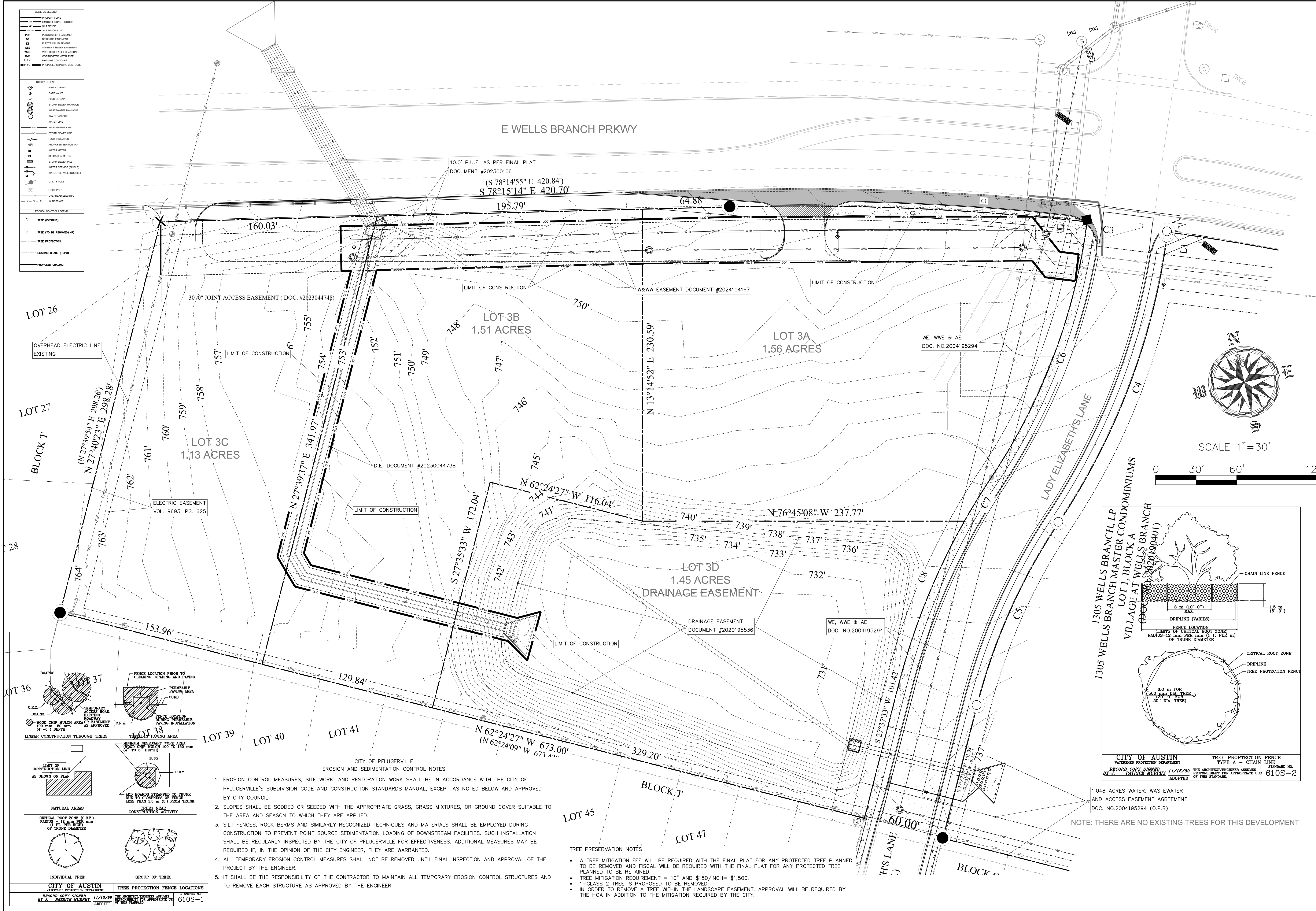
Rev	Description	Date	Drawn
0	ISSUED FOR APPROVAL	04/05/22	
1	ISSUED FOR APPROVAL	04/27/22	
2	ISSUED FOR APPROVAL	09/29/22	
3	ISSUED FOR APPROVAL	11/14/22	

FOR INFORMATION ONLY
 PRELIMINARY PLAN HAS BEEN APPROVED | VILLAGE AT WELLS BRANCH PHASE 1

GENERAL LEGEND	
[Symbol]	PROPERTY LINE
[Symbol]	LIMIT OF CONSTRUCTION
[Symbol]	5 FT FENCE
[Symbol]	6 FT FENCE & LOC
[Symbol]	PUBLIC UTILITY EASEMENT
[Symbol]	DRAINAGE EASEMENT
[Symbol]	ELECTRICAL EASEMENT
[Symbol]	SEWER EASEMENT
[Symbol]	WATER SURFACE ELEVATION
[Symbol]	CONCRETE METAL PIPE
[Symbol]	EXISTING CONTOUR
[Symbol]	ELEVATION
[Symbol]	PROPOSED GRADING CONTOUR

UTILITY LEGEND	
[Symbol]	FIRE HYDRANT
[Symbol]	SAFE HOLE
[Symbol]	PLUG OR CAP
[Symbol]	STORM SEWER MANHOLE
[Symbol]	WASTEWATER MANHOLE
[Symbol]	HW CLEANOUT
[Symbol]	WATER LINE
[Symbol]	WASTEWATER LINE
[Symbol]	STORM SEWER LINE
[Symbol]	FLOW INDICATOR
[Symbol]	PROPOSED SERVICE TAP
[Symbol]	WATER METER
[Symbol]	IRIGATION METER
[Symbol]	STORM SEWER PILE
[Symbol]	WATER SERVICE (SINGLE)
[Symbol]	WATER SERVICE (DOUBLE)
[Symbol]	UTILITY POLE
[Symbol]	LIGHT POLE
[Symbol]	OVERHEAD ELECTRIC
[Symbol]	WIRE FENCE

EROSION CONTROL LEGEND	
[Symbol]	TREE (EXISTING)
[Symbol]	TREE (TO BE REMOVED) (R)
[Symbol]	TREE PROTECTION
[Symbol]	EXISTING GRADE (TOPG)
[Symbol]	PROPOSED GRADING

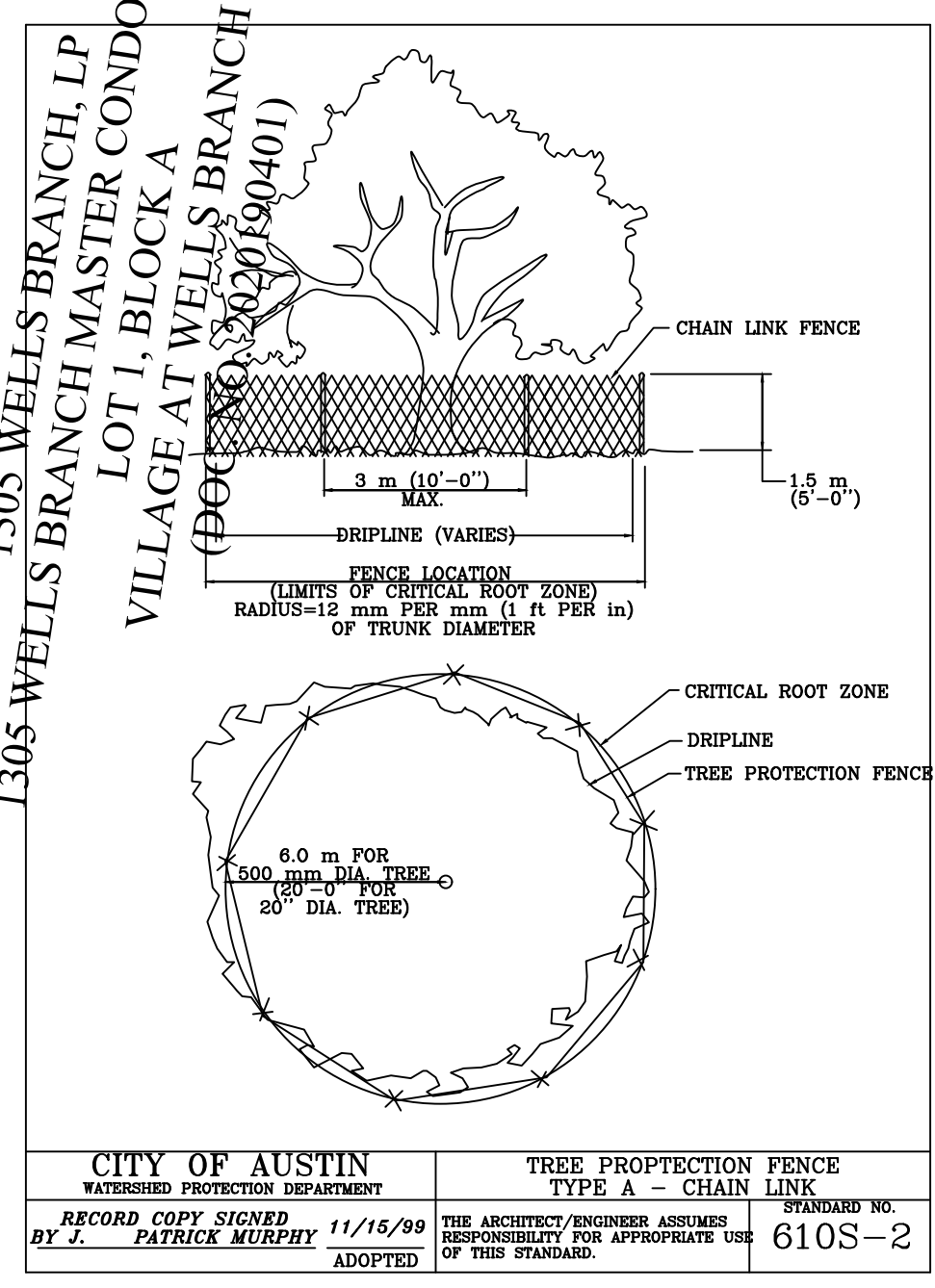


**CITY OF PFLUGERVILLE
EROSION AND SEDIMENTATION CONTROL NOTES**

1. EROSION CONTROL MEASURES, SITE WORK, AND RESTORATION WORK SHALL BE IN ACCORDANCE WITH THE CITY OF PFLUGERVILLE'S SUBDIVISION CODE AND CONSTRUCTION STANDARDS MANUAL, EXCEPT AS NOTED BELOW AND APPROVED BY CITY COUNCIL.
2. SLOPES SHALL BE SODDED OR SEEDDED WITH THE APPROPRIATE GRASS, GRASS MIXTURES, OR GROUND COVER SUITABLE TO THE AREA AND SEASON TO WHICH THEY ARE APPLIED.
3. SILT FENCES, ROCK BERMS AND SIMILARLY RECOGNIZED TECHNIQUES AND MATERIALS SHALL BE EMPLOYED DURING CONSTRUCTION TO PREVENT POINT SOURCE SEDIMENTATION LOADING OF DOWNSTREAM FACILITIES. SUCH INSTALLATION SHALL BE REGULARLY INSPECTED BY THE CITY OF PFLUGERVILLE FOR EFFECTIVENESS. ADDITIONAL MEASURES MAY BE REQUIRED IF, IN THE OPINION OF THE CITY ENGINEER, THEY ARE WARRANTED.
4. ALL TEMPORARY EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL FINAL INSPECTION AND APPROVAL OF THE PROJECT BY THE ENGINEER.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL TEMPORARY EROSION CONTROL STRUCTURES AND TO REMOVE EACH STRUCTURE AS APPROVED BY THE ENGINEER.

TREE PRESERVATION NOTES

- A TREE MITIGATION FEE WILL BE REQUIRED WITH THE FINAL PLAT FOR ANY PROTECTED TREE PLANNED TO BE REMOVED AND FISCAL WILL BE REQUIRED WITH THE FINAL PLAT FOR ANY PROTECTED TREE PLANNED TO BE RETAINED.
- TREE MITIGATION REQUIREMENT = 10" AND \$150/INCH= \$1,500.
- 1-CLASS 2 TREE IS PROPOSED TO BE REMOVED.
- IN ORDER TO REMOVE A TREE WITHIN THE LANDSCAPE EASEMENT, APPROVAL WILL BE REQUIRED BY THE HOA IN ADDITION TO THE MITIGATION REQUIRED BY THE CITY.



CITY OF AUSTIN WATER PROTECTION DEPARTMENT	
RECORD COPY SIGNED BY J. PATRICK MURPHY 11/16/89 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD. STANDARD NO. 610S-2

1.048 ACRES WATER, WASTEWATER AND ACCESS EASEMENT AGREEMENT DOC. NO.2004195294 (O.P.R.)

NOTE: THERE ARE NO EXISTING TREES FOR THIS DEVELOPMENT

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MIRZA TAHIR BAIG, P.E., #82577 ON 10/04/2024
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PROFESSIONAL STRUCTURAL ENGINEERS, INC. CONSULTING CIVIL AND STRUCTURAL ENGINEERS 2205 WEST PARKER LANE, SUITE 210, AUSTIN, TX 78727 TEL: 512.238.6422 POC: @psenic.com	VILLAGE AT WELLS BRANCH SECTION 2 1305 E WELLS BRANCH PKWY CITY OF PFLUGERVILLE, TEXAS Title: EROSION PROTECTION PLAN & TREE SURVEY
PROJECT: 30717	SHEET: 10 OF 10