

**GENERAL PLAN NOTES:**

- THIS PLAN LIES WITHIN THE CITY OF PFLUGERVILLE AND THE PLANNED UNIT DEVELOPMENT JURISDICTION.
- WATER AND WASTEWATER SHALL BE PROVIDED BY THE CITY OF PFLUGERVILLE. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO WATER AND WASTEWATER FACILITIES.
- A 10-FT PUBLIC UTILITY EASEMENT (P.U.E.) SHALL BE DEDICATED ALONG ALL EXISTING PUBLIC STREET FRONTAGE(S). PRIVATE STREETS ARE TO BE DEDICATED BY PUBLIC ACCESS AND UTILITY EASEMENTS WHICH WILL ALLOW FOR THE PLACEMENT OF PUBLIC UTILITIES. 10-FT P.U.E. NOT BE DEDICATED ALONG INGENUITY AVE.
- EASEMENT(S) DEDICATED TO THE PUBLIC BY THIS PLAN SHALL ALSO BE SUBJECT TO THE TERMS AND CONDITIONS OF THE ENGINEERING DESIGN MANUAL, AS AMENDED. THE GRANTOR [PROPERTY OWNER(S)], HEIRS, SUCCESSORS AND ASSIGNS SHALL RETAIN THE OBLIGATION TO MAINTAIN THE SURFACE OF THE EASEMENT PROPERTY, INCLUDING THE OBLIGATION TO REGULARLY MOW OR CUT BACK VEGETATION AND TO KEEP THE SURFACE OF THE EASEMENT PROPERTY FREE OF LITER, DEBRIS, AND TRASH.
- NO IMPROVEMENTS INCLUDING BUT NOT LIMITED TO STRUCTURES, FENCES, OR LANDSCAPING SHALL BE ALLOWED IN A PUBLIC EASEMENT, EXCEPT AS APPROVED BY THE CITY.
- THE PROPERTY OWNER SHALL PROVIDE ACCESS TO DRAINAGE AND UTILITY EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS FOR THE PLACEMENT, CONSTRUCTION, INSTALLATION, REPLACEMENT, REPAIR, MAINTENANCE, RELOCATION, REMOVAL, OPERATION AND INSPECTION OF SUCH DRAINAGE AND UTILITY FACILITIES, AND RELATED APPURTENANCES.
- NOTHING PROVIDED WITHIN ORDINANCE NO. 1280-16-08-23 WHICH (AMENDMENT TO ORDINANCE NO. 1203-15-02-24) SHALL EXEMPT THE MINIMUM 6-FT WIDE SIDEWALK IMPROVEMENTS WITH STREET TREES AS DEPICTED ON THE CROSS-SECTIONS (SECTION D OF ORDINANCE 1280-16-08-23) FROM BEING CONSTRUCTED WITH EACH BLOCK ALONG ALL EXISTING BOUNDARY STREETS, INCLUDING BUT NOT LIMITED TO WEST PECAN STREET, HEATHERWILDE BOULEVARD, AND OLD AUSTIN PFLUGERVILLE ROAD, EXCEPT WHERE SUCH CONDITIONS ALREADY EXIST.
- INTENDED CIVIC SPACE IMPROVEMENTS SHALL BE CONSTRUCTED CONCURRENTLY WITH CONSTRUCTION OF THE FIRST PHASE OF EACH BLOCK.
- A MINIMUM OF 10.77 ACRES OF PARKLAND SPACE IS REQUIRED PER THE PUD ORDINANCE. A MINIMUM OF 7.00 ACRES OF DEDICATED OPEN SPACE, 2.94 ACRES OF SIDEWALK, AND 0.83 ACRES OF PASEO IS REQUIRED PER THE PUD ORDINANCE. OPEN SPACE WILL BE DEDICATED TO THE CITY OF PFLUGERVILLE BUT MAINTAINED BY A MASTER PROPERTY OWNER'S ASSOCIATION.
- DETAILS FOR INTENDED CIVIC SPACE IMPROVEMENTS SHALL BE FINALIZED AT TIME OF SITE DEVELOPMENT AND APPROVED BY THE PARKS AND RECREATION DIRECTOR.
- DESIGNATED CIVIC SPACE AREA, PASEOS, AND DESIGNATED SIDEWALK AREAS AS DESCRIBED ON THE LAND USE PLAN SHALL COUNT TOWARD PARKLAND DEDICATION ACREAGE REQUIREMENTS. ALL DESIGNATED CIVIC SPACE AREAS WILL BE MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION.
- STREETLIGHTS SHALL BE INSTALLED AND IN FULL WORKING ORDER WITH THE PUBLIC IMPROVEMENTS. ALL STREETLIGHTS SHALL BE IN CONFORMANCE WITH ALL CITY OF PFLUGERVILLE ORDINANCES INCLUDING BUT NOT LIMITED TO BEING DOWNCAST AND FULL CUT OFF TYPE.
- THIS SUBDIVISION IS SUBJECT TO ALL CITY OF PFLUGERVILLE ORDINANCES OR TECHNICAL MANUALS RELATED TO TREE PRESERVATION PER CITY ORDINANCE # 1203-15-02-24 AND CITY RESOLUTION # 1224-09-08-25-8A. NO TREE SHALL BE REMOVED UNTIL APPROVED THROUGH APPROVED MITIGATION AT TIME OF CONSTRUCTION PLAN OR SITE DEVELOPMENT.
- FISCAL SURETY FOR THE CALIPER INCHES OF ALL PROTECTED TREES WILL BE REQUIRED WITH ALL CONSTRUCTION PLANS AND SITE PLANS TO ENSURE THAT NO PROTECTED TREE IS DISTURBED. IF A TREE IS PLANNED TO BE REMOVED, THEN THE MITIGATION INCHES OR ASSOCIATED FEE SHALL BE PROVIDED OR DELINEATED ON A MITIGATION PLAN PRIOR TO APPROVAL OF ANY CONSTRUCTION OR SITE PLAN WHERE THE TREE WILL BE IMPACTED. SEE SHEET 4 FOR TREE SURVEY AND REQUIRED MITIGATION.
- PARKLAND DEVELOPMENT FEE CREDIT TOWARDS CIVIL SPACE IMPROVEMENTS SHALL BE APPROVED AND AT THE DISCRETION OF THE PARKS AND RECREATION DIRECTOR.
- FEE-IN-LIEU AND PARK DEVELOPMENT FEES SHALL BE DEDICATED TO IMPROVEMENTS WITHIN THE DEDICATED CIVIC SPACE AND SIDEWALK AREAS ON SITE. AT NO POINT SHALL PARK DEVELOPMENT FEES BE USED FOR THE CONSTRUCTION OF A DETENTION FACILITY.
- ANY CIVIC SPACE TO BE DEDICATED TO THE CITY, IN WHOLE OR ON A BLOCK BY BLOCK BASIS, AT THE CITY'S DISCRETION, SHALL BE CONVEYED BY WARRANTY DEED THROUGH THE PROCESS OUTLINED IN SUBCHAPTER 14 OF THE UDC ONCE ALL INTENDED CIVIC SPACE IMPROVEMENTS HAVE BEEN PROVIDED AND DEEMED ACCEPTABLE BY THE PARKS AND RECREATION DIRECTOR.
- THE COMMUNITY IMPACT FEE RATE FOR WATER AND WASTEWATER WILL BE ASSESSED AT THE TIME OF FINAL PLAT.
- ON-SITE STORM WATER FACILITIES SHALL BE PROVIDED VIA A REGIONAL PROGRAM TO MITIGATE POST-DEVELOPMENT PEAK RUNOFF RATES FOR THE 2 YEAR, 25 YEAR AND 100 YEAR STORM EVENTS. PEAK RUNOFF RATES WILL BE MITIGATED FOR EACH PHASE AS WELL AS FOR THE ENTIRETY OF THE PROJECT. SEE SHEET 8 FOR DETAILED PHASED CONSTRUCTION OF DETENTION PONDS.
- ALL ELECTRIC UTILITY INFRASTRUCTURE INCLUDING BUT NOT LIMITED TO TELEPHONE, CABLE TELEVISION, ELECTRIC UTILITY LATERAL AND SERVICE LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF PFLUGERVILLE ENGINEERING DESIGN MANUAL. ELECTRIC UTILITY INFRASTRUCTURE SHALL ALSO COMPLY WITH THE APPROVED PUD WHICH REQUIRES INSTALLATION OR RELOCATION OF OVERHEAD UTILITIES TO UNDERGROUND ALONG THE PERIMETER AND INTERIOR OF THE DEVELOPMENT.
- THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF PFLUGERVILLE.
- CONSTRUCTION PLANS AND SPECIFICATIONS FOR ALL SUBDIVISION IMPROVEMENTS SHALL BE REVIEWED AND APPROVED BY THE CITY OF PFLUGERVILLE PRIOR TO ANY CONSTRUCTION WITHIN THE SUBDIVISION.
- SITE DEVELOPMENT CONSTRUCTION PLANS SHALL BE REVIEWED AND APPROVED BY THE CITY OF PFLUGERVILLE PRIOR TO ANY CONSTRUCTION.
- NO PORTION OF THIS TRACT IS WITHIN A FLOOD HAZARD AREA AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP PANEL # 48453C02601 FOR TRAVIS COUNTY, EFFECTIVE 08/18/2014.
- ALL PROPOSED FENCES AND WALLS ADJACENT TO INTERSECTING PUBLIC ROADWAY RIGHT-OF-WAY OR ADJACENT TO PRIVATE ACCESS DRIVES SHALL BE IN COMPLIANCE WITH THE SIGHT DISTANCE REQUIREMENTS OF THE CITY OF PFLUGERVILLE ENGINEERING DESIGN MANUAL, AS AMENDED.
- WASTEWATER AND WATER SYSTEMS SHALL CONFORM TO TCEQ (TEXAS COMMISSION ON ENVIRONMENTAL QUALITY) AND STATE BOARD OF INSURANCE REQUIREMENTS. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR RE-PLATTING MAY BE REQUIRED AT THE OWNER'S SOLE EXPENSE IF PLANS TO DEVELOP THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.
- ALL RESPONSIBILITY FOR THE OWNERSHIP AND MAINTENANCE OF PRIVATE ROADS SHOWN IS SOLELY BASED WITH THE DEVELOPER & PROPERTY OWNERS ASSOCIATION, DOC # 2020225416 O.P.R. TRAVIS COUNTY, TEXAS.
- AREAS PLANNED AS DETENTION AREAS SHALL HAVE A DRAINAGE EASEMENT ESTABLISHED WITHIN THE LIMITS OF THE ANTICIPATED PONDS. OWNERSHIP AND MAINTENANCE OF PRIVATE STORMWATER PONDS SHOWN IS SOLELY BASED WITH THE DEVELOPER & PROPERTY OWNERS ASSOCIATION.
- TxDOT APPROVAL IS REQUIRED FOR ALL STREET AND DRIVEWAY CONNECTIONS TO FM 1835/PECAN ST. FOR EACH DRIVEWAY CONNECTION TO FM 1835/PECAN ST, DECELERATION LANES MAY BE DETERMINED TO BE REQUIRED BY TxDOT OR CITY OF PFLUGERVILLE ENGINEERS. IF REQUIRED, THE DEVELOPER WILL DEDICATE ADDITIONAL RIGHT OF WAY BEFORE THE PLAT FOR ANY LOT WITH FRONTAGE FROM PECAN CAN BE APPROVED.
- EVERY PROPOSED INTERSECTION SHALL COMPLY WITH SIGHT VISIBILITY REQUIREMENTS PER EDM DG.2.5. ADEQUACY MUST BE PROVEN, OR EASEMENTS GRANTED TO INSURE COMPLIANCE BEFORE THE PLATTING AND/OR CONSTRUCTION PLANS OF ANY INTERSECTION WILL BE APPROVED.

# PRELIMINARY PLAN FOR THE PECAN DISTRICT

W. PECAN ST. PFLUGERVILLE PKWY, TX 78660

SUBMITTAL DATE: AUGUST 24, 2020

**TRAFFIC IMPACT ANALYSIS**  
AUTHOR: COLBY WRIGHT  
DATE:

**WATER MODEL**  
AUTHOR: NHAT M. HO, PE  
DATE: 10/08/2018

**WASTEWATER ANALYSIS**  
AUTHOR: NHAT M. HO, PE  
DATE: 7/01/2019

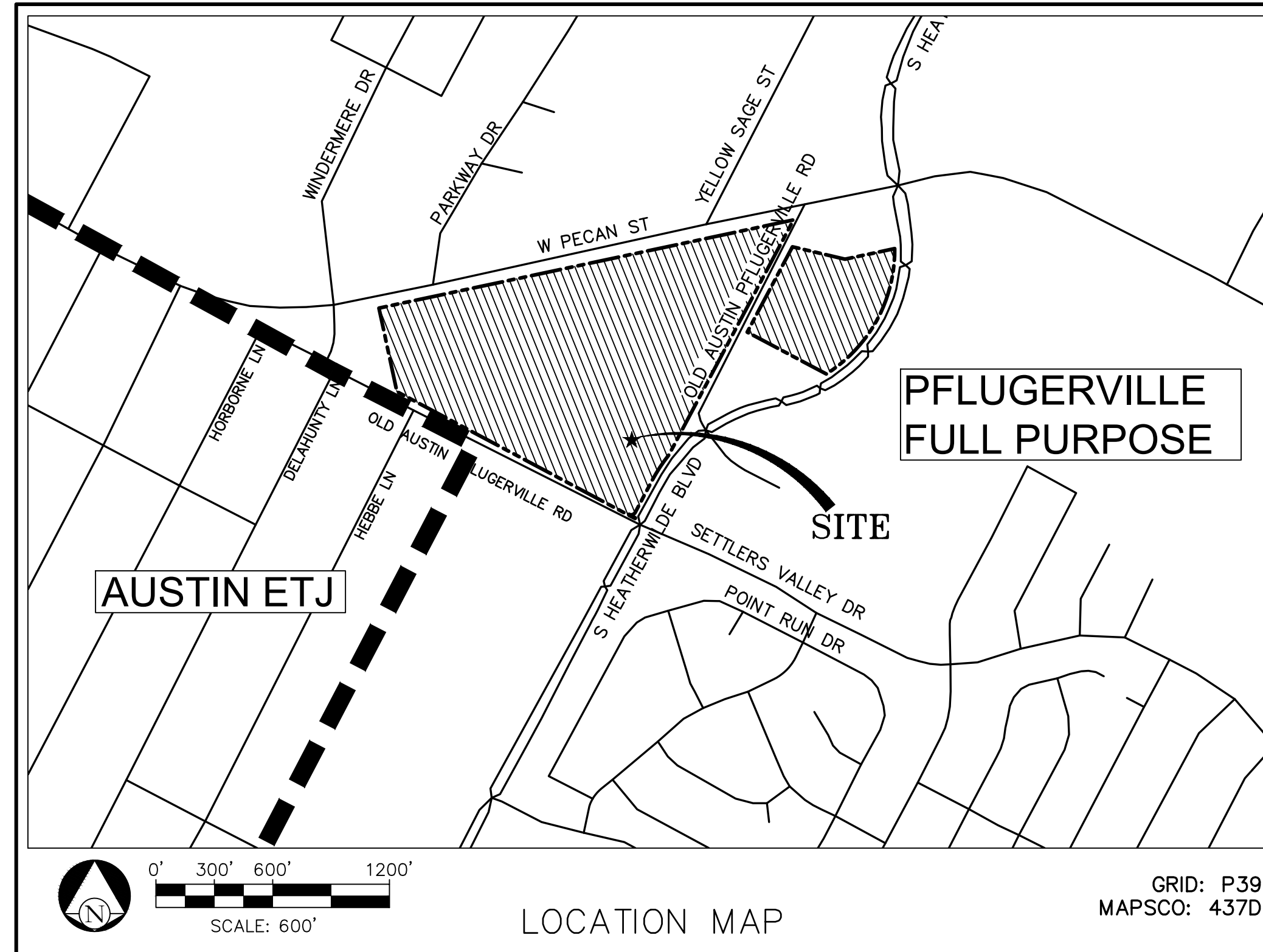
**ENGINEERING REPORT**  
AUTHOR: NHAT M. HO, PE  
DATE: 8/24/2020

**DRAINAGE REPORT**  
AUTHOR: NHAT M. HO, PE  
DATE: 8/24/2020

**MANVILLE WSC**  
TONY GRAF  
19109 ENGELMANN LANE  
MANOR, TX 78653  
512-856-2488 EXT 223

**CITY OF PFLUGERVILLE-  
DEVELOPMENT SERVICES CENTER  
PLANNING, ENGINEERING &  
BUILDING DEPARTMENTS**  
201-B EAST PECAN STREET  
PO BOX 589  
PFLUGERVILLE, TX 78691-0589  
512-990-6300

**TRAVIS COUNTY EMERGENCY  
SERVICES DISTRICT #2**  
MIKE SLAUGHTER  
203 EAST PECAN STREET  
PFLUGERVILLE, TX 78660  
512-989-4531



**SHEET INDEX**

SHEET	TITLE
1.	COVER SHEET
2.	PRELIMINARY PLAN
3.	LAND USE PLAN
4.	EXISTING CONDITIONS
5.	PROPOSED GRADING
6.	CUT FILL PLAN
7.	EXISTING DRAINAGE AREA MAP
8.	PROPOSED DRAINAGE AREA MAP
9.	PROPOSED SUB-DRAINAGE AREA MAP
10.	WATER DISTRIBUTION PLAN
11.	WASTEWATER SYSTEM PLAN
12.	OFFSITE WASTEWATER SYSTEM PLAN
13.	ILLUMINATION PLAN
14.	PUD CROSS-SECTIONS

**UTILITY PROVIDERS:**

**AT&T-TEXAS NORTH ENGINEERING**  
MARK DAVIS  
11220 JOSEPH CLAYTON DR, FLOOR 1  
AUSTIN, TX 78753  
512-870-4760

**AUSTIN ENERGY**  
EUSEBIO GARZA  
7210 BARTON SPRINGS RD  
AUSTIN, TX 78704

**SUDDENLINK COMMUNICATIONS**  
PHILLIP WOMACK  
111 N COLLEGE RD  
GEORGETOWN, TX 78626  
512-931-2964

**ONCOR**  
PAUL LEMONS  
350 TEXAS AVE  
ROUND ROCK, TX 78664  
512-244-5693

**CITY OF PFLUGERVILLE PUBLIC WORKS**  
JAMES WILLIS  
15500 SUN LIGHT NEAR WAY #B  
PFLUGERVILLE, TX 78660  
512-990-6100

**GRANDE COMMUNICATIONS**  
GREGORY PEPPER  
9601 DESSAU RD., #305  
AUSTIN, TX 78754  
512-220-4000

**ATMOS**  
CHRIS LEBLANC  
3110 N. I-35  
ROUND ROCK, TX 78681  
512-310-3801

**OWNER**  
THE COMMONS AT HEATHERWILDE  
AND PECAN, LP  
CONTACT: DUSTIN MATIZZA  
1601 RIO GRANDE, SUITE 300  
AUSTIN, TX 78701

**DESIGN TEAM**  
CIVIL ENGINEERING  
CIVILITUDE LLC  
5110 LANCASTER CT  
AUSTIN, TX 78723  
(512) 761-6161

**SURVEY**  
SURVEYOR: KONTUR TECHNICAL, LLC  
26 WOODLAND LANE  
ROUND ROCK, TEXAS 78664  
(512) 360-0012

**ZONING**  
PUD

**WATERSHED**  
GILLELAND CREEK

**LEGAL DESCRIPTION**

38.4765 ACRES OUT OF THE JOHN VANWINKLE SURVEY A-786 AND LOT 5 BLOCK A WELLS POINT COMMERCIAL AND 7.279 ACRES IN THE ALEXANDER WALTERS SURVEY NO.67 ABSTRACT 791 IN TRAVIS COUNTY, TEXAS

Street Summary			
Name	Length (LF)	Width (FT)	Acres
Collaboration Lane (Private)	296	66	0.45
Imagination Blvd (Private)	564	98	1.27
Ingenuity Ave (Public)	2,401	78	4.30
Social Drive (Private)	1,109	66	1.68
Alley (Private)	359	26	0.21

**SURVEYOR'S VERIFICATION**

STATE OF TEXAS:  
KNOWN ALL MEN BY THESE PRESENTS:  
COUNTY OF TRAVIS:  
THAT I, COREY HALL, DO HEREBY CERTIFY THAT I PREPARED THIS PLAN FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON MARKING THE BOUNDARY OF THE PROPOSED SUBDIVISION, BUT NOT INTERIOR LOT LINES, WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH ALL CITY OF PFLUGERVILLE, TEXAS CODES AND ORDINANCES AND THAT ALL KNOWN EASEMENTS WITHIN THE BOUNDARY OF THE PLAT ARE SHOWN HEREON.

03/22/21  
COREY J. HALL, RPLS #6362 DATE

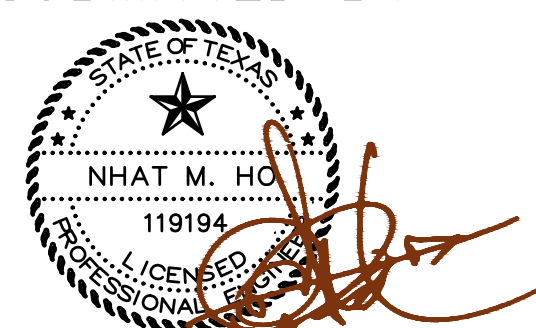
**BENCHMARKS:**

- A: BRASS DISK SET IN CONCRETE RIPRAP  
ELEVATION: 796.4942  
NORTHING: 10136578.9543  
EASTING: 3144968.2321
- B: BRASS DISK SET IN CONCRETE INLET  
ELEVATION: 790.2706  
NORTHING: 10135709.6846  
EASTING: 3144307.4712

NUMBER	DESCRIPTION	REVISE (R) DELETE (D) ADD (A) SHEET No's	TOTAL SHEETS	NET CHANGE IC (SF)	TOTAL SITE IC (SF/%)	APPROVAL DATE	DATE IMAGED

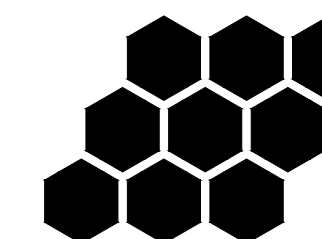
PRELIMINARY PLAN ONLY – NOT FOR RECORDATION

SUBMITTED BY



NHAT M. HO, PE #119194

03/22/2020  
DATE



**CIVILITUDE**

ENGINEERS & PLANNERS  
FIRM REG# F-12469 5110 LANCASTER CT, AUSTIN, TX 78723  
PHONE 512 761 6161 FAX 512 761 6167 INFO@CIVILITUDE.COM

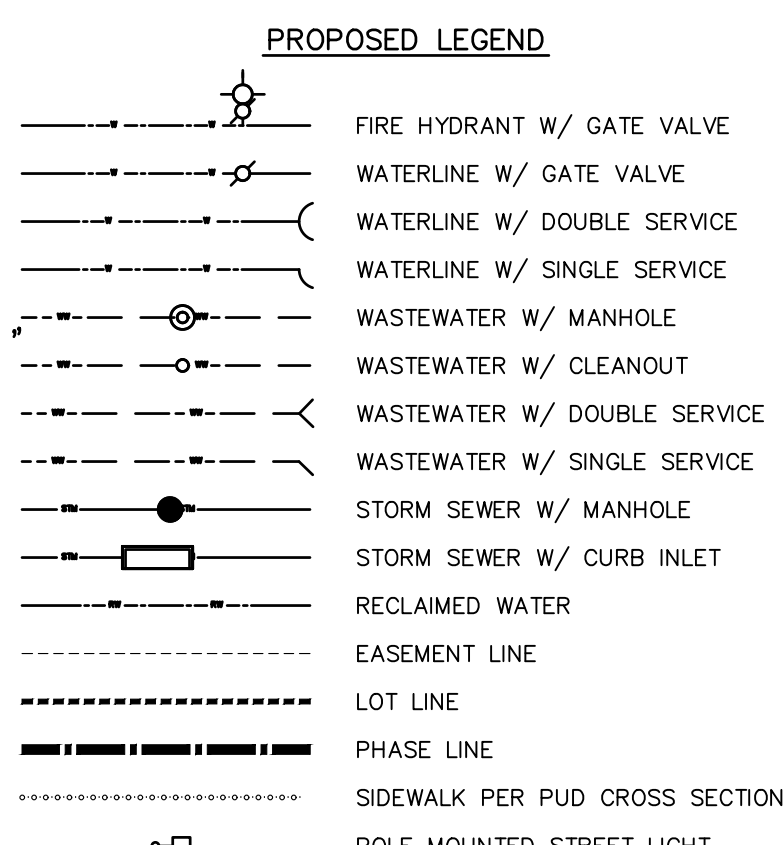
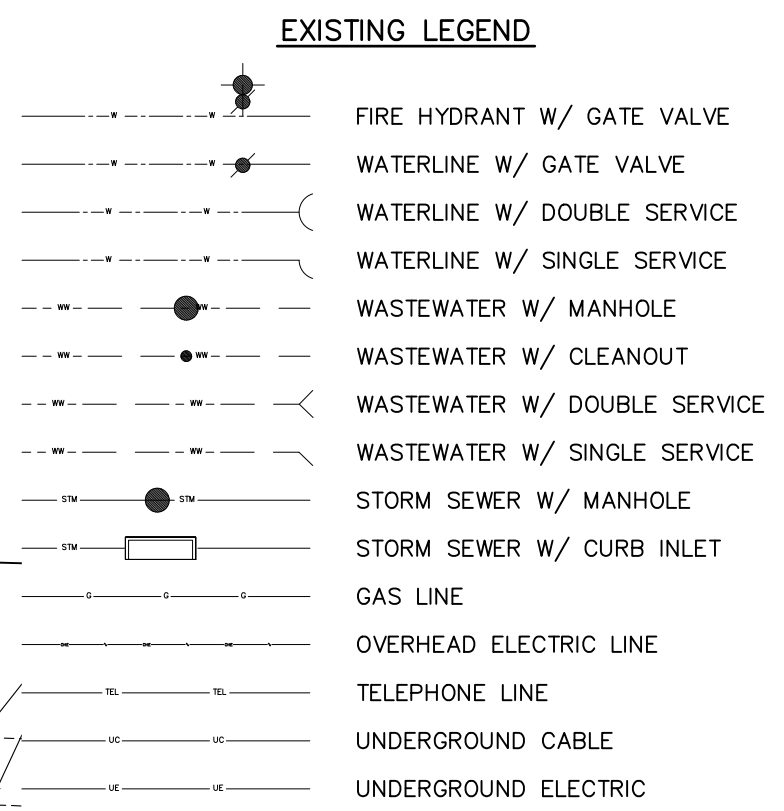
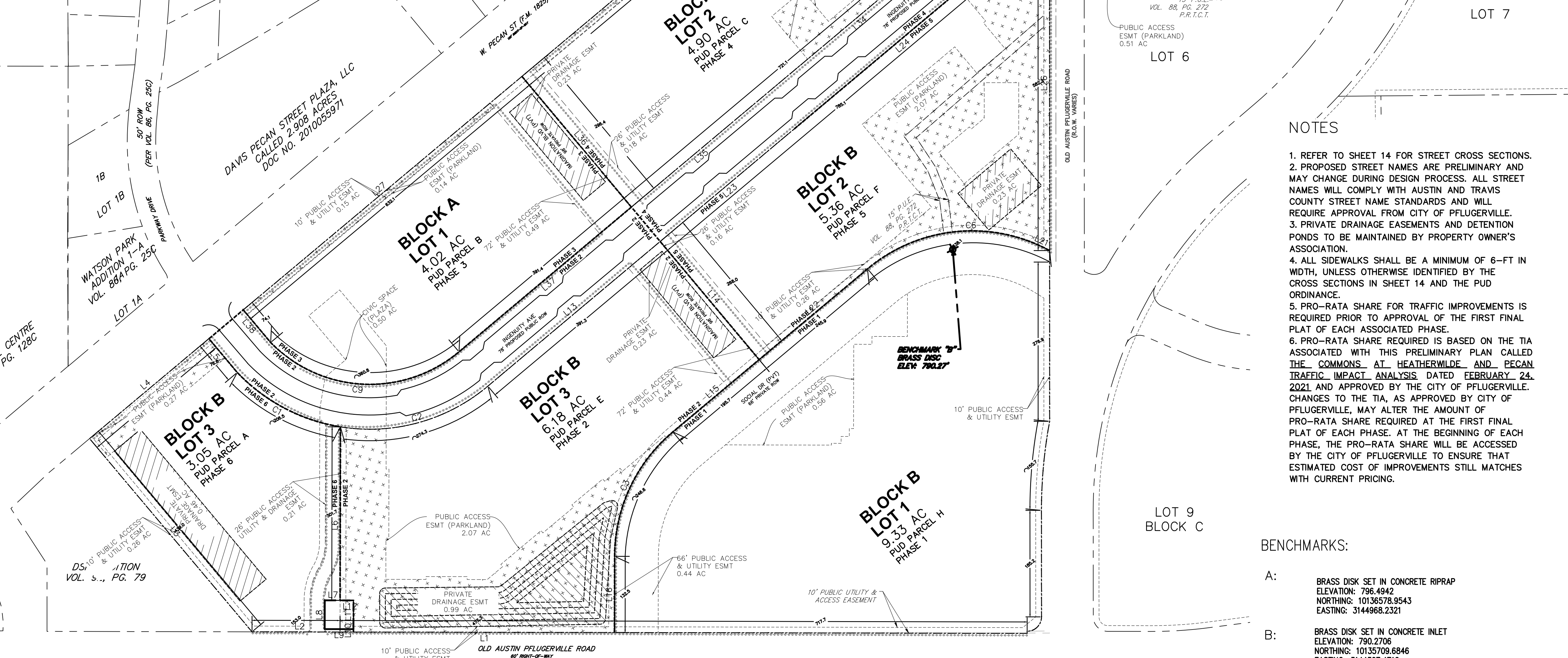
Block	Lot	Phase	Area (Ac)	Proposed Use
A	1	1	9.33	Multifamily
	1	3	4.02	Multifamily/ Office/Retail/Live -Work
	2	4	4.90	Multifamily/ Office/Retail/Live -Work
	3	7	2.40	Office/Retail
	5A	8	4.52	Office/Retail
B	5B	9	1.80	Office/Retail
	1	5	5.36	Multifamily/ Office/Retail/Live -Work
	2	2	6.18	Multifamily/ Office/Retail/Live -Work
	3	6	3.05	Hotel
Total	9	9	41.56	

THE PECAN DISTRICT W.PECAN ST. PFLUGERVILLE PKWY, TX 78660  
PPXXX-XX

Line #/Curve #	Length	Bearing
L1	453.98	N61° 57' 04.28"W
L2	176.30	S61° 56' 59.60"E
L3	439.17	S12° 06' 56.11"E
L4	270.69	N77° 59' 30.73"E
L5	56.88	N12° 00' 25.03"W
L6	302.02	N28° 04' 02.60"E
L7	26.62	S61° 57' 04.28"E
L8	50.00	N28° 02' 55.72"E
L9	50.00	N61° 57' 20.42"W
L10	5.00	N28° 02' 55.72"E
L11	50.00	N28° 02' 55.75"E
L12	23.38	N61° 57' 04.28"W
L13	391.77	N77° 55' 22.22"E
L14	268.10	S12° 00' 25.79"E
L15	195.73	N77° 59' 24.08"E
L16	132.52	N28° 03' 25.08"E
L21	40.84	S37° 41' 04.62"E
L22	245.91	N77° 59' 24.08"E
L23	300.03	S77° 56' 34.63"W
L24	485.06	S77° 55' 58.93"W
L25	76.27	S77° 58' 26.13"W

Line #/Curve #	Length	Bearing
L26	582.45	N27° 57' 09.80"E
L27	632.15	N77° 59' 30.73"E
L28	721.03	N77° 59' 30.73"E
L29	476.44	S77° 59' 30.73"W
L30	402.25	N27° 57' 09.80"E
L31	76.32	N77° 58' 26.07"E
L32	63.98	N77° 55' 53.64"E
L33	295.70	S12° 00' 25.03"E
L34	421.07	S77° 55' 46.09"W
L35	299.96	S77° 56' 34.65"W
L36	296.42	S12° 00' 25.79"E
L37	391.86	S77° 55' 22.22"W
L38	56.89	N12° 00' 25.03"W
L39	262.07	N27° 56' 10.80"E
L40	277.41	S76° 45' 49.23"E
L41	261.09	N78° 00' 24.69"E
L42	547.06	N62° 17' 20.61"W
L43	155.05	N27° 56' 10.80"E
L44	498.94	S62° 06' 43.03"E
L45	459.65	N62° 04' 35.74"W

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	226.05	318.00	40.73	N32° 22' 15"W	221.32
C2	273.86	317.96	49.35	S77° 24' 22"E	265.47
C3	246.63	283.01	49.93	N53° 01' 24"E	238.90
C6	297.17	282.97	60.17	S71° 55' 39"E	283.70
C7	21.89	168.41	7.45	S81° 45' 06"W	21.87
C8	79.17	244.43	18.56	N87° 16' 04"E	78.82
C9	377.29	240.00	90.07	N57° 02' 31"W	339.62
C10	514.06	749.67	39.29	S18° 58' 29"W	504.05
C11	29.18	166.97	10.01	S67° 05' 11"E	29.15
C12	172.44	750.37	13.17	S51° 20' 07"W	172.06



**NOTES**

- REFER TO SHEET 14 FOR STREET CROSS SECTIONS.
- PROPOSED STREET NAMES ARE PRELIMINARY AND MAY CHANGE DURING DESIGN PROCESS. ALL STREET NAMES WILL COMPLY WITH AUSTIN AND TRAVIS COUNTY STREET NAME STANDARDS AND WILL REQUIRE APPROVAL FROM CITY OF PFLUGERVILLE.
- PRIVATE DRAINAGE EASEMENTS AND DETENTION PONDS TO BE MAINTAINED BY PROPERTY OWNER'S ASSOCIATION.
- ALL SIDEWALKS SHALL BE A MINIMUM OF 6-FT IN WIDTH, UNLESS OTHERWISE IDENTIFIED BY THE CROSS SECTIONS IN SHEET 14 AND THE PUD ORDINANCE.
- PRO-RATA SHARE FOR TRAFFIC IMPROVEMENTS IS REQUIRED PRIOR TO APPROVAL OF THE FIRST FINAL PLAT OF EACH ASSOCIATED PHASE.
- PRO-RATA SHARE REQUIRED IS BASED ON THE TIA ASSOCIATED WITH THIS PRELIMINARY PLAN CALLED THE COMMONS AT HEATHERWILDE AND PECAN TRAFFIC IMPACT ANALYSIS DATED FEBRUARY 24, 2021 AND APPROVED BY THE CITY OF PFLUGERVILLE. CHANGES TO THE TIA, AS APPROVED BY CITY OF PFLUGERVILLE, MAY ALTER THE AMOUNT OF PRO-RATA SHARE REQUIRED AT THE FIRST FINAL PLAT OF EACH PHASE. AT THE BEGINNING OF EACH PHASE, THE PRO-RATA SHARE WILL BE ACCESSED BY THE CITY OF PFLUGERVILLE TO ENSURE THAT ESTIMATED COST OF IMPROVEMENTS STILL MATCHES WITH CURRENT PRICING.

**BENCHMARKS:**

A: BRASS DISK SET IN CONCRETE RIPRAP  
ELEVATION: 796.4942  
NORTHING: 10136578.9543  
EASTING: 3144968.2321

B: BRASS DISK SET IN CONCRETE INLET  
ELEVATION: 790.2706  
NORTHING: 10135709.6846  
EASTING: 3144307.4712

NO.	DATE	REVISIONS

THE PECAN DISTRICT - PRELIMINARY PLAN  
PFLUGERVILLE, TX

**PRELIMINARY PLAN**

**CIVILITUDE ENGINEERS & PLANNERS**  
5110 LANCASTER COURT, AUSTIN, TX 78744  
PHONE 512 761 6161 FAX 512 761 6167  
FIRM REG NO. F12469 INFO@CIVILITUDE.COM

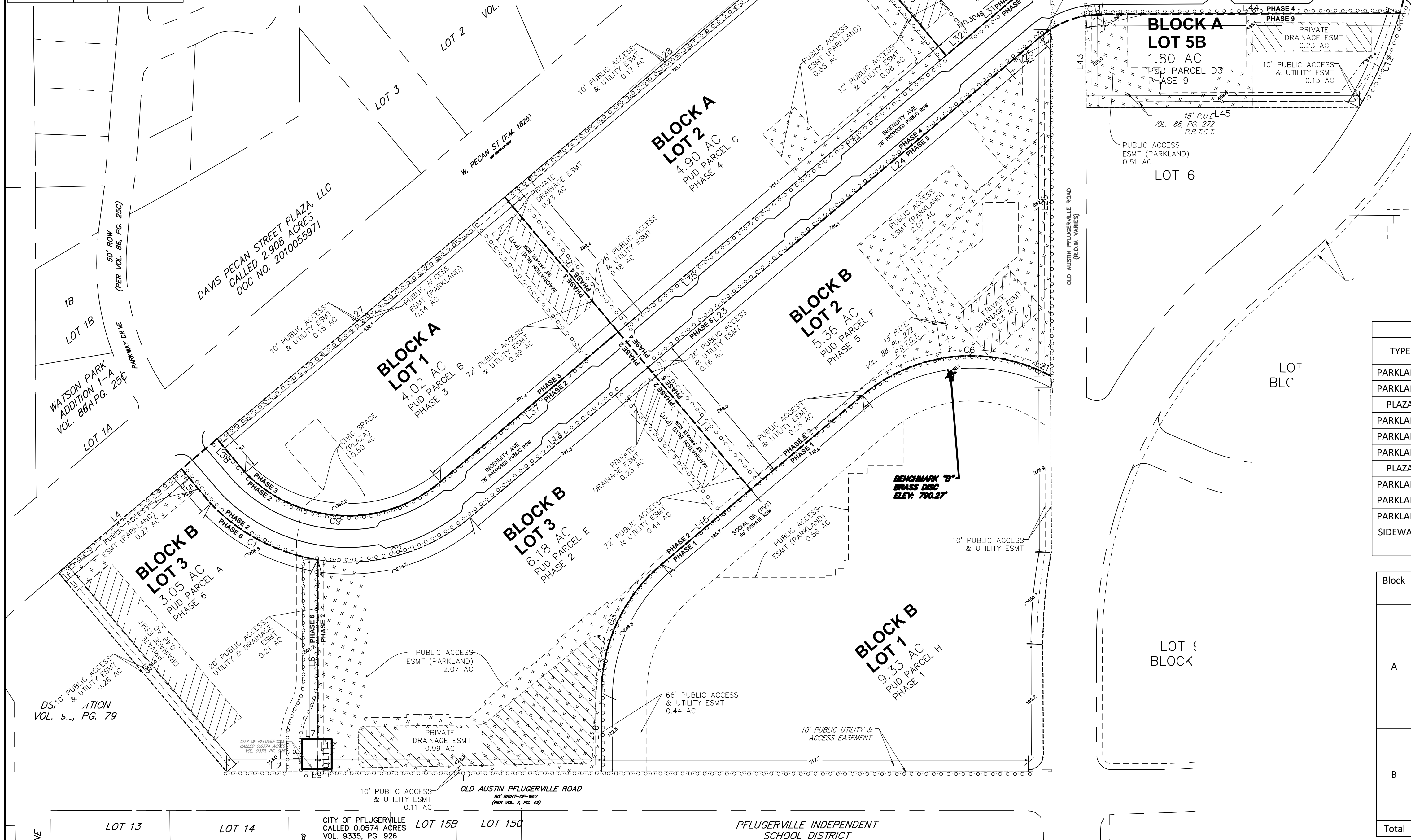
SCALE: 1" = 100' DGN. BY: NMH  
JOB NO. A356-002 DWN. BY: JLP

SHEET NO. 02 OF 16

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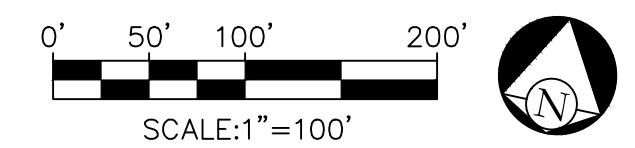
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Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	226.05	318.00	40.73	N32° 22' 15"W	221.32
C2	273.86	317.96	49.35	S77° 24' 22"E	265.47
C3	246.63	283.01	49.93	N53° 01' 24"E	238.90
C6	297.17	282.97	60.17	S71° 55' 39"E	283.70
C7	21.89	168.41	7.45	S81° 45' 06"W	21.87
C8	79.17	244.43	18.56	N87° 16' 04"E	78.82
C9	377.29	240.00	90.07	N57° 02' 31"W	339.62
C10	514.06	749.67	39.29	S18° 58' 29"W	504.05
C11	29.18	166.97	10.01	S67° 05' 11"E	29.15
C12	172.44	750.37	13.17	S51° 20' 07"W	172.06



EXISTING LEGEND	
	FIRE HYDRANT W/ GATE VALVE
	WATERLINE W/ GATE VALVE
	WATERLINE W/ DOUBLE SERVICE
	WATERLINE W/ SINGLE SERVICE
	WASTEWATER W/ MANHOLE
	WASTEWATER W/ CLEANOUT
	WASTEWATER W/ DOUBLE SERVICE
	WASTEWATER W/ SINGLE SERVICE
	STORM SEWER W/ MANHOLE
	STORM SEWER W/ CURB INLET
	GAS LINE
	OVERHEAD ELECTRIC LINE
	TELEPHONE LINE
	UNDERGROUND CABLE
	UNDERGROUND ELECTRIC

PROPOSED LEGEND	
	FIRE HYDRANT W/ GATE VALVE
	WATERLINE W/ GATE VALVE
	WATERLINE W/ DOUBLE SERVICE
	WATERLINE W/ SINGLE SERVICE
	WASTEWATER W/ MANHOLE
	WASTEWATER W/ CLEANOUT
	WASTEWATER W/ DOUBLE SERVICE
	WASTEWATER W/ SINGLE SERVICE
	STORM SEWER W/ MANHOLE
	STORM SEWER W/ CURB INLET
	RECLAIMED WATER
	EASEMENT LINE
	LOT LINE
	PHASE LINE
	SIDEWALK PER PUD CROSS SECTION
	POLE MOUNTED STREET LIGHT



CIVIC (GREEN) SPACE PROVIDED				
TYPE	BLOCK	LOT	AREA (AC.)	TOTAL (AC.)
PARKLAND		1	0.56	10.8
PARKLAND	B	3	0.27	
PLAZA	A	1	0.5	
PARKLAND	A	1	0.14	
PARKLAND	A	2	0.65	
PARKLAND	A	3	0.38	
PLAZA	A	5A	0.77	
PARKLAND	A	5B	0.51	
PARKLAND	B	1	2.07	
PARKLAND	B	2	2.07	
SIDEWALK	A,B,C,D	-	2.86	

Block	Lot	Phase	Area (Ac)	Proposed Use
	1	1	9.33	Multifamily
A	1	3	4.02	Multifamily/Office/Retail/Live-Work
	2	4	4.90	Multifamily/Office/Retail/Live-Work
	3	7	2.40	Office/Retail
	5A	8	4.52	Office/Retail
	5B	9	1.80	Office/Retail
B	1	5	5.36	Multifamily/Office/Retail/Live-Work
	2	2	6.18	Multifamily/Office/Retail/Live-Work
	3	6	3.05	Hotel
Total	9	9	41.56	

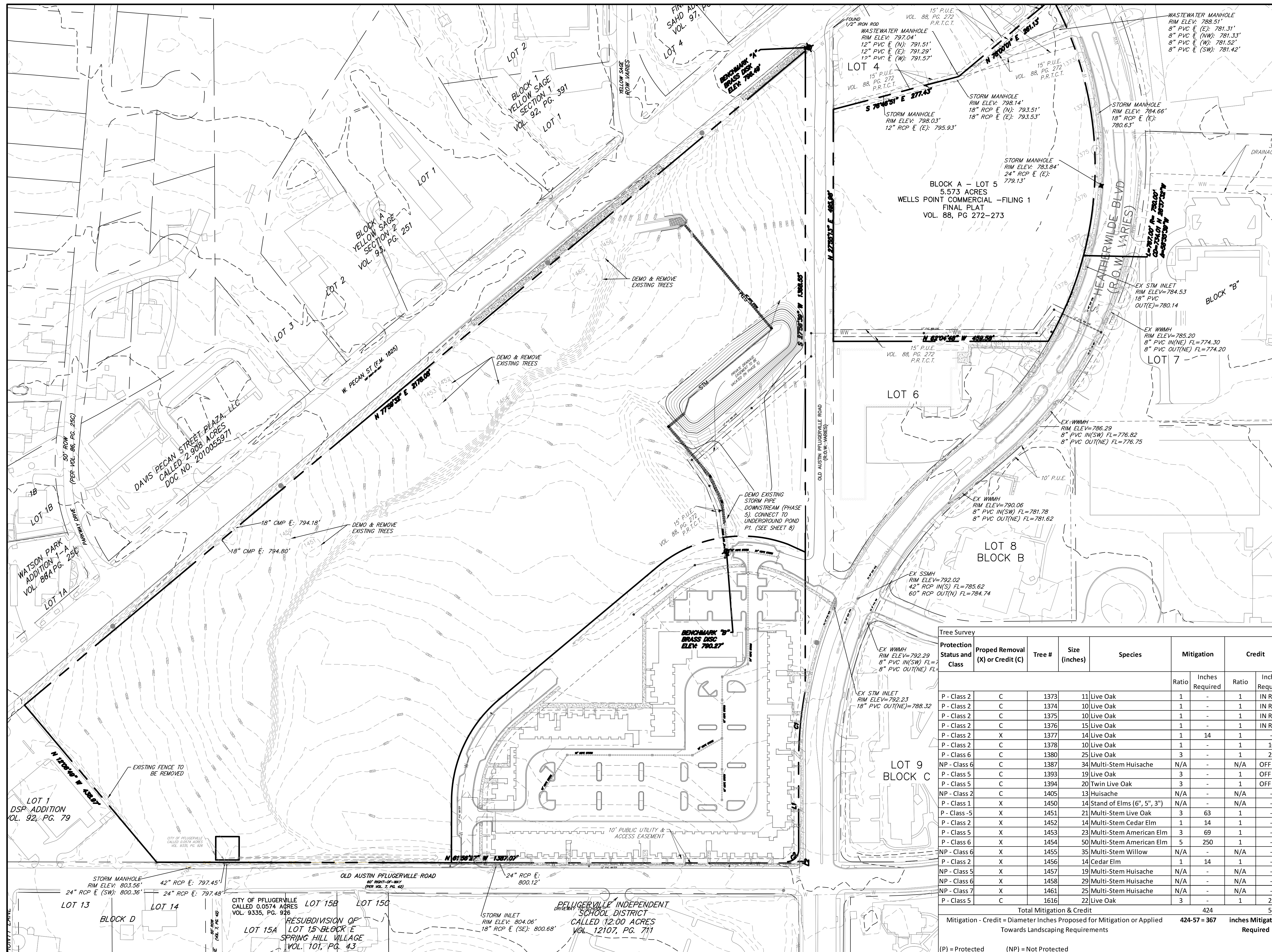
NO.	DATE	REVISIONS

THE PECAN DISTRICT - PRELIMINARY PLAN  
PFLUGERVILLE, TX  
LAND USE PLAN

**CIVILITUDE**  
ENGINEERS & PLANNERS  
5110 LANCASTER COURT, AUSTIN, TX 78744  
PHONE 512 761 6161 FAX 512 761 6167  
FIRM REG NO. F12469 INFO@CIVILITUDE.COM

SCALE: 1" = 100' DGN. BY: NMH  
JOB NO. A356-002 DWN. BY: JJP

STATE OF TEXAS  
NHAAT M. HO  
119194  
03-22-2020  
SHEET NO. 03 OF 16

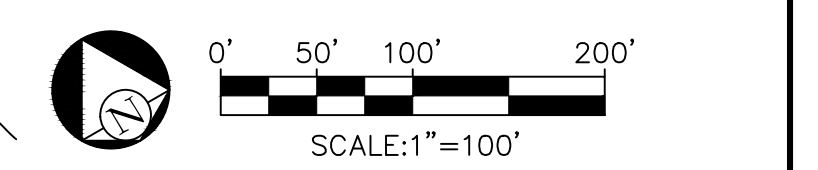


**EXISTING LEGEND**

- FIRE HYDRANT W/ GATE VALVE
- WATERLINE W/ GATE VALVE
- WATERLINE W/ DOUBLE SERVICE
- WATERLINE W/ SINGLE SERVICE
- WASTEWATER W/ MANHOLE
- WASTEWATER W/ CLEANOUT
- WASTEWATER W/ DOUBLE SERVICE
- WASTEWATER W/ SINGLE SERVICE
- STORM SEWER W/ MANHOLE
- STORM SEWER W/ CURB INLET
- GAS LINE
- OVERHEAD ELECTRIC LINE
- TELEPHONE LINE
- UNDERGROUND CABLE
- UNDERGROUND ELECTRIC

**PROPOSED LEGEND**

- FIRE HYDRANT W/ GATE VALVE
- WATERLINE W/ GATE VALVE
- WATERLINE W/ DOUBLE SERVICE
- WATERLINE W/ SINGLE SERVICE
- WASTEWATER W/ MANHOLE
- WASTEWATER W/ CLEANOUT
- WASTEWATER W/ DOUBLE SERVICE
- WASTEWATER W/ SINGLE SERVICE
- STORM SEWER W/ MANHOLE
- STORM SEWER W/ CURB INLET
- RECLAIMED WATER
- EASEMENT LINE
- LOT LINE
- PHASE LINE
- SIDEWALK PER PUD CROSS SECTION
- POLE MOUNTED STREET LIGHT



NO.	DATE	REVISIONS

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THE PECAN DISTRICT - PRELIMINARY PLAN  
PFLUGERVILLE, TX

**EXISTING CONDITIONS**

**CIVILITUDE**  
ENGINEERS & PLANNERS

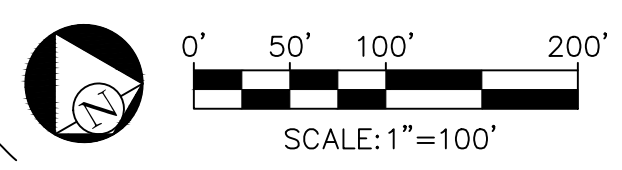
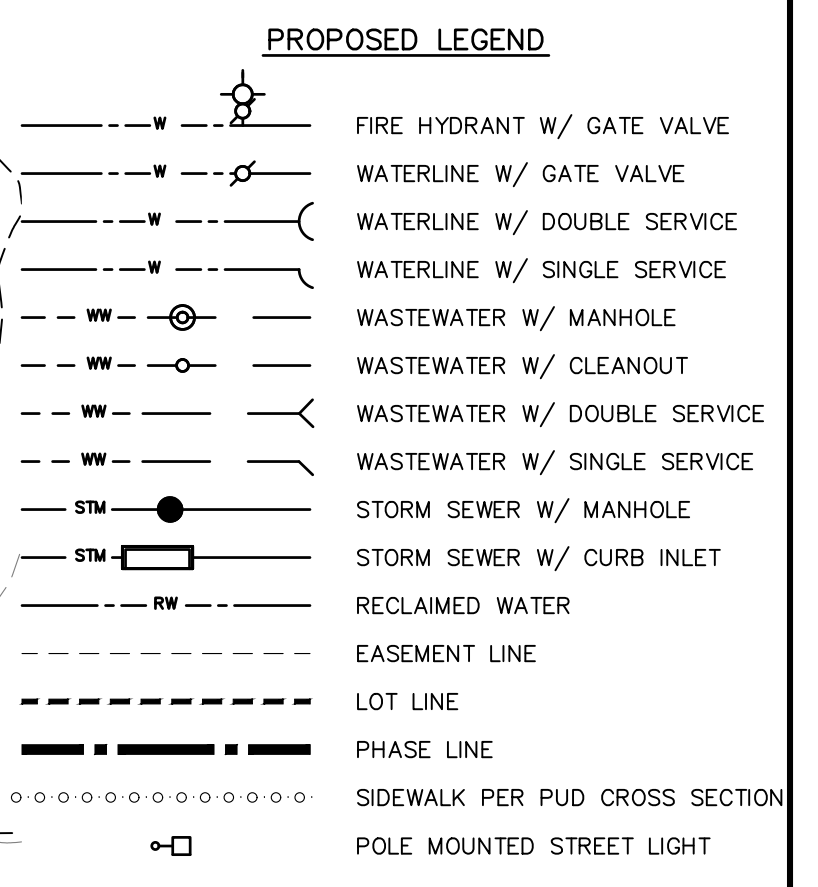
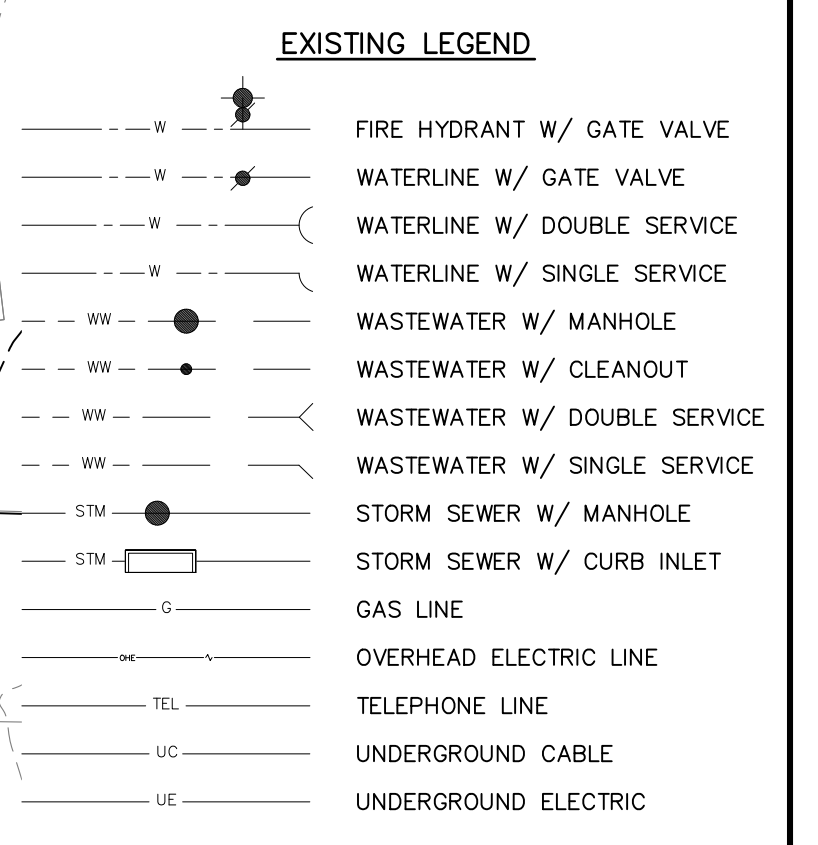
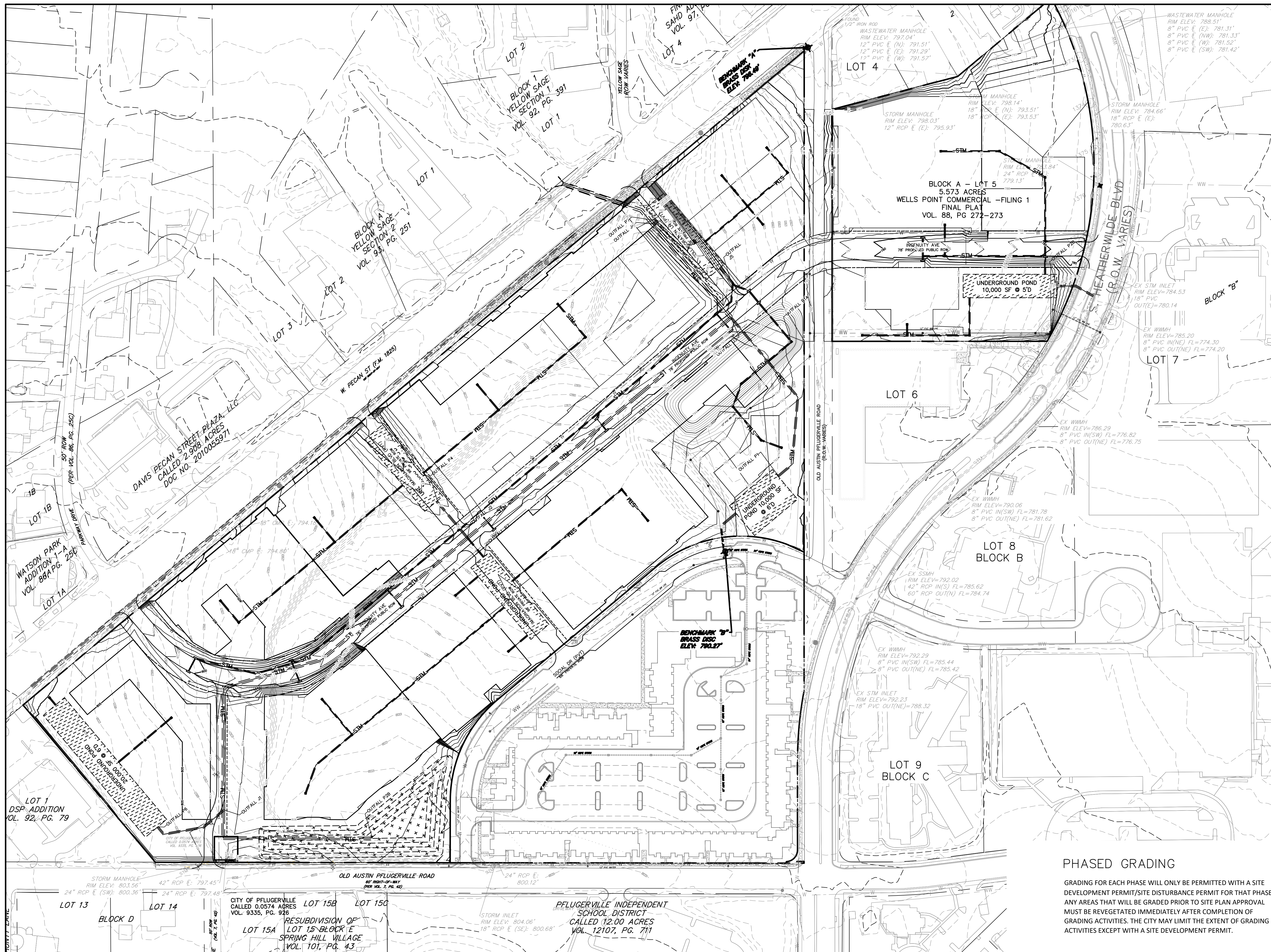
5110 LANCASTER COURT, AUSTIN, TX 78744  
PHONE 512 761 6161 FAX 512 761 6167  
FIRM REG NO. F12469 INFO@CIVILITUDE.COM

SCALE: 1" = 100' DGN. BY: NMH  
JOB NO. A356-002 DWN. BY: JJP

STATE OF TEXAS  
NHAAT M. HO  
119194  
03-22-2020

Protection Status and Class	Proped Removal (X) or Credit (C)	Tree #	Size (Inches)	Species	Mitigation Ratio	Inches Required	Credit Ratio	Inches Required
P - Class 2	C	1373	11	Live Oak	1	-	1	IN ROW
P - Class 2	C	1374	10	Live Oak	1	-	1	IN ROW
P - Class 2	C	1375	10	Live Oak	1	-	1	IN ROW
P - Class 2	C	1376	15	Live Oak	1	-	1	IN ROW
P - Class 2	X	1377	14	Live Oak	1	14	1	-
P - Class 2	C	1378	10	Live Oak	1	-	1	10
P - Class 6	C	1380	25	Live Oak	3	-	1	25
NP - Class 6	C	1387	34	Multi-Stem Huisache	N/A	-	N/A	OFF LOT
P - Class 5	C	1393	19	Live Oak	3	-	1	OFF LOT
P - Class 5	C	1394	20	Twin Live Oak	3	-	1	OFF LOT
NP - Class 2	C	1405	13	Huisache	N/A	-	N/A	-
P - Class 1	X	1450	14	Stand of Elms (6", 5", 3")	N/A	-	N/A	-
P - Class-5	X	1451	21	Multi-Stem Live Oak	3	63	1	-
P - Class 2	X	1452	14	Multi-Stem Cedar Elm	1	14	1	-
P - Class 5	X	1453	23	Multi-Stem American Elm	3	69	1	-
P - Class 6	X	1454	50	Multi-Stem American Elm	5	250	1	-
NP - Class 6	X	1455	35	Multi-Stem Willow	N/A	-	N/A	-
P - Class 2	X	1456	14	Cedar Elm	1	14	1	-
NP - Class 5	X	1457	19	Multi-Stem Huisache	N/A	-	N/A	-
NP - Class 6	X	1458	29	Multi-Stem Huisache	N/A	-	N/A	-
NP - Class 7	X	1461	25	Multi-Stem Huisache	N/A	-	N/A	-
P - Class 5	C	1616	22	Live Oak	3	-	1	22
Total Mitigation & Credit						424		57
Mitigation - Credit = Diameter Inches Proposed for Mitigation or Applied Towards Landscaping Requirements						424-57 = 367		inches Mitigation Required

(P) = Protected (NP) = Not Protected



NO.	DATE	REVISIONS

THE PECAN DISTRICT - PRELIMINARY PLAN  
PFLUGERVILLE, TX

**PROPOSED GRADING**

**CIVILITUDE**  
ENGINEERS & PLANNERS

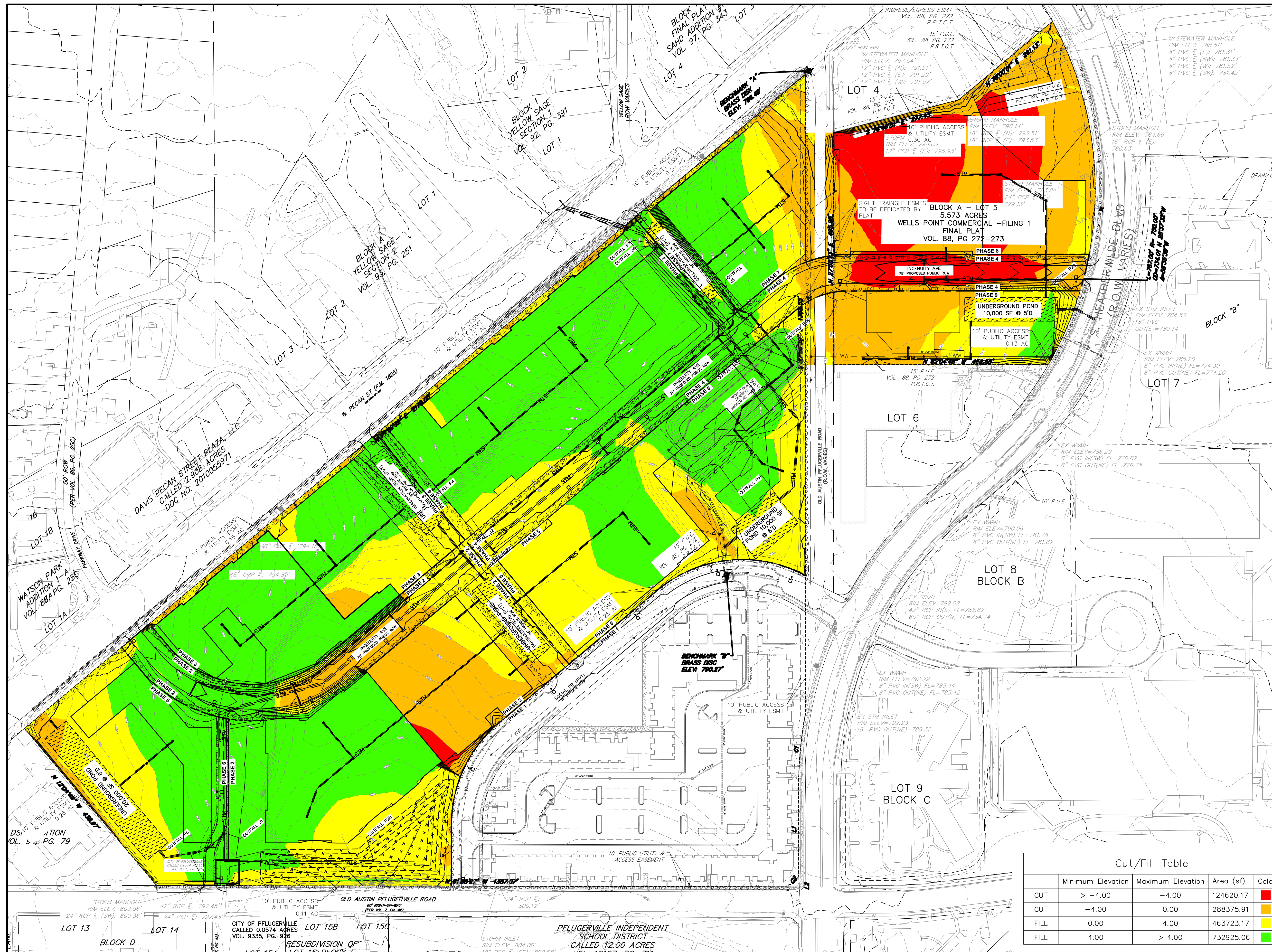
5110 LANCASTER COURT, AUSTIN, TX 78744  
PHONE 512 761 6161 FAX 512 761 6167  
FIRM REG NO. F12469 INFO@CIVILITUDE.COM

SCALE: 1" = 100' DGN. BY: NMH  
JOB NO. A356-002 DWN. BY: JLP

SHEET NO. 05 OF 16

**PHASED GRADING**

GRADING FOR EACH PHASE WILL ONLY BE PERMITTED WITH A SITE DEVELOPMENT PERMIT/SITE DISTURBANCE PERMIT FOR THAT PHASE. ANY AREAS THAT WILL BE GRADED PRIOR TO SITE PLAN APPROVAL MUST BE REVEGETATED IMMEDIATELY AFTER COMPLETION OF GRADING ACTIVITIES. THE CITY MAY LIMIT THE EXTENT OF GRADING ACTIVITIES EXCEPT WITH A SITE DEVELOPMENT PERMIT.



- EXISTING LEGEND**
- W --- FIRE HYDRANT W/ GATE VALVE
  - W --- WATERLINE W/ GATE VALVE
  - W --- WATERLINE W/ DOUBLE SERVICE
  - W --- WATERLINE W/ SINGLE SERVICE
  - W --- WASTEWATER W/ MANHOLE
  - W --- WASTEWATER W/ CLEANOUT
  - W --- WASTEWATER W/ DOUBLE SERVICE
  - W --- WASTEWATER W/ SINGLE SERVICE
  - W --- STORM SEWER W/ MANHOLE
  - W --- STORM SEWER W/ CURB INLET
  - W --- GAS LINE
  - W --- OVERHEAD ELECTRIC LINE
  - W --- TELEPHONE LINE
  - W --- UNDERGROUND CABLE
  - W --- UNDERGROUND ELECTRIC
- PROPOSED LEGEND**
- W --- FIRE HYDRANT W/ GATE VALVE
  - W --- WATERLINE W/ GATE VALVE
  - W --- WATERLINE W/ DOUBLE SERVICE
  - W --- WATERLINE W/ SINGLE SERVICE
  - W --- WASTEWATER W/ MANHOLE
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  - W --- STORM SEWER W/ CURB INLET
  - W --- RECLAIMED WATER
  - W --- EASEMENT LINE
  - W --- LOT LINE
  - W --- PHASE LINE
  - W --- SIDEWALK PER PUD CROSS SECTION
  - W --- POLE MOUNTED STREET LIGHT



NO.	DATE	REVISIONS

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THE PECAN DISTRICT - PRELIMINARY PLAN  
PFLUGERVILLE, TX

CUT FILL PLAN

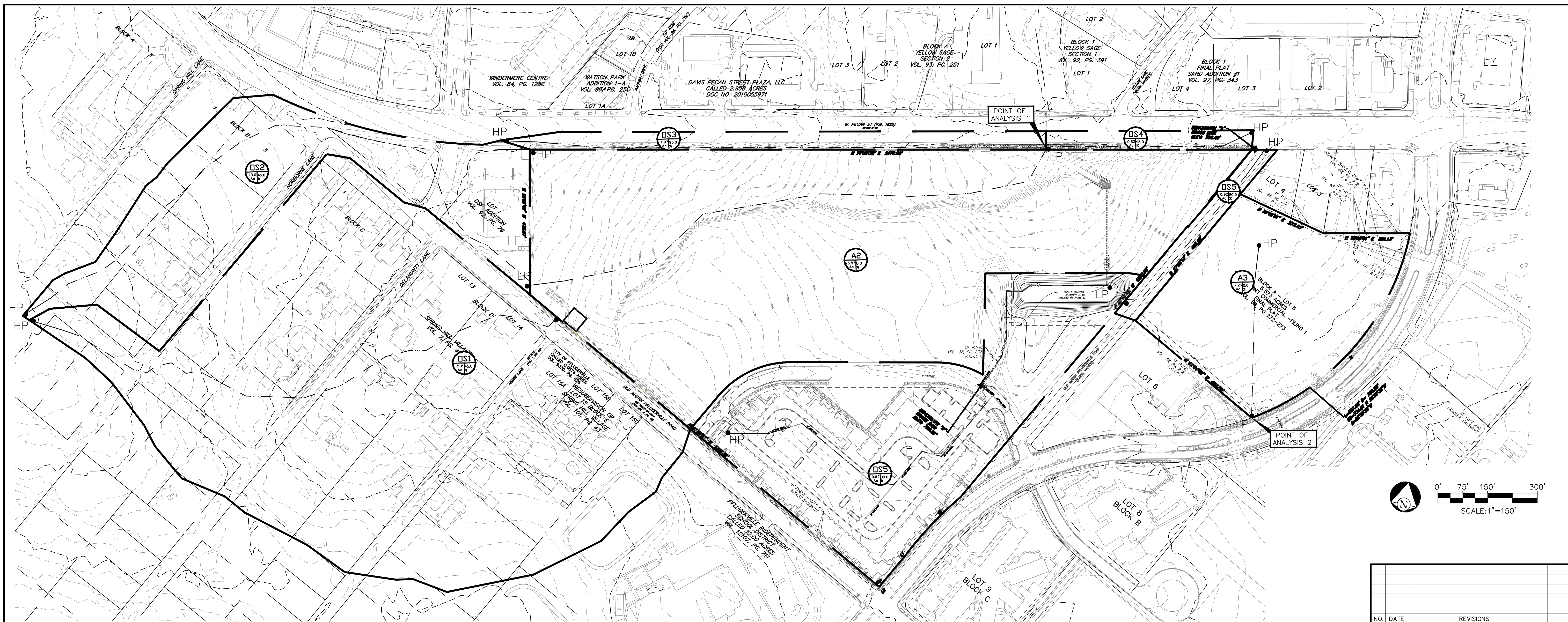
**CIVILITUDE**  
ENGINEERS & PLANNERS

5110 LANCASTER COURT, AUSTIN, TX 78744  
PHONE 512 761 6161 FAX 512 761 6167  
FIRM REG NO. F12469 INFO@CIVILITUDE.COM

SCALE: 1" = 100' DGN. BY: NMH  
JOB NO. A356-002 DWN. BY: JLP

SHEET NO. 06 OF 16

	Minimum Elevation	Maximum Elevation	Area (sf)	Color
CUT	> -4.00	-4.00	124620.17	Red
CUT	-4.00	0.00	288375.91	Yellow
FILL	0.00	4.00	463723.17	Light Green
FILL	4.00	> 4.00	732925.06	Dark Green



Sub Basin	Downstream	Area (ac)	Impervious Cover (%)	HEC-HMS Outputs		
				Q2 (cfs)	Q25 (cfs)	Q100 (cfs)
OS1	Point Of Analysis 1	31.83	45.0%	73.3	179.5	245.3
OS2	Point Of Analysis 1	10.01	45.0%	21.7	53	72.5
OS3	Point Of Analysis 1	1.97	95.0%	6.2	12.9	16.9
OS4	Point Of Analysis 1	0.81	95.0%	3.2	6.4	8.4
OS5	Point Of Analysis 1	0.92	80.0%	3.2	6.8	8.4
A1	Point Of Analysis 1	12.22	45.0%	29.9	72.8	99.3
A2	Point Of Analysis 1	25.87	0.0%	38.5	116.3	166.7
A3	Point Of Analysis 2	7.26	0.0%	12.8	38.6	55.2
<b>Point Of Analysis 1</b>				<b>143.7</b>	<b>370</b>	<b>567.9</b>
<b>Point Of Analysis 2</b>				<b>12.8</b>	<b>38.3</b>	<b>55.2</b>

Sub Basin	Total Reach (ft)	Curve Number $CN=98(IC\%)+79(1-IC\%)$	Total Tc (min)	Lag Time (min)	Sheet Flow $Tc = 0.42 * ((nL)^{0.8}) / (P^{2*0.5}) * (s^{*0.4})$				Shallow Concentrated Flow Paved $Tt = L / (60 * 20.3282 * (s^{*0.5}))$ Unpaved $Tt = L / (60 * 16.1345 * (s^{*0.5}))$				Channel Flow $Tc = L / (60 * V)$		
					Reach (L) (ft)	Manning's (n)	Slope (s) (ft/ft)	Tc (min)	Reach (L) (ft)	Surface	Slope (s) (ft/ft)	Tc (min)	Length (ft)	Avg. Velocity (ft/s)	Tc (min)
					OS1	1768	88	13.2	7.9	100	0.05	0.03	3.1	1668	Unpaved
OS2	1952	88	15.2	9.1	100	0.05	0.03	3.1	1852	Unpaved	0.02	12.1			
OS3	1636	97	11.8	7.1	100	0.05	0.03	3.1	1536	Paved	0.02	8.7			
OS4	632	97	6.0	3.6	100	0.05	0.03	3.1	532	Paved	0.02	2.9			
OS5	628	94	6.2	3.7	100	0.05	0.03	3.1	528	Paved	0.02	3.1			
A1	123	88	6.5	3.9	100	0.05	0.025	3.3	23	PAVED	0.35	0.0	1542	8.2	3.1
A2	1685	79	16.4	9.8	100	0.05	0.02	3.6	1585	Unpaved	0.02	12.8			
A3	475	79	10.9	6.5	100	0.05	0.01	4.8	375	Unpaved	0.00	6.1			

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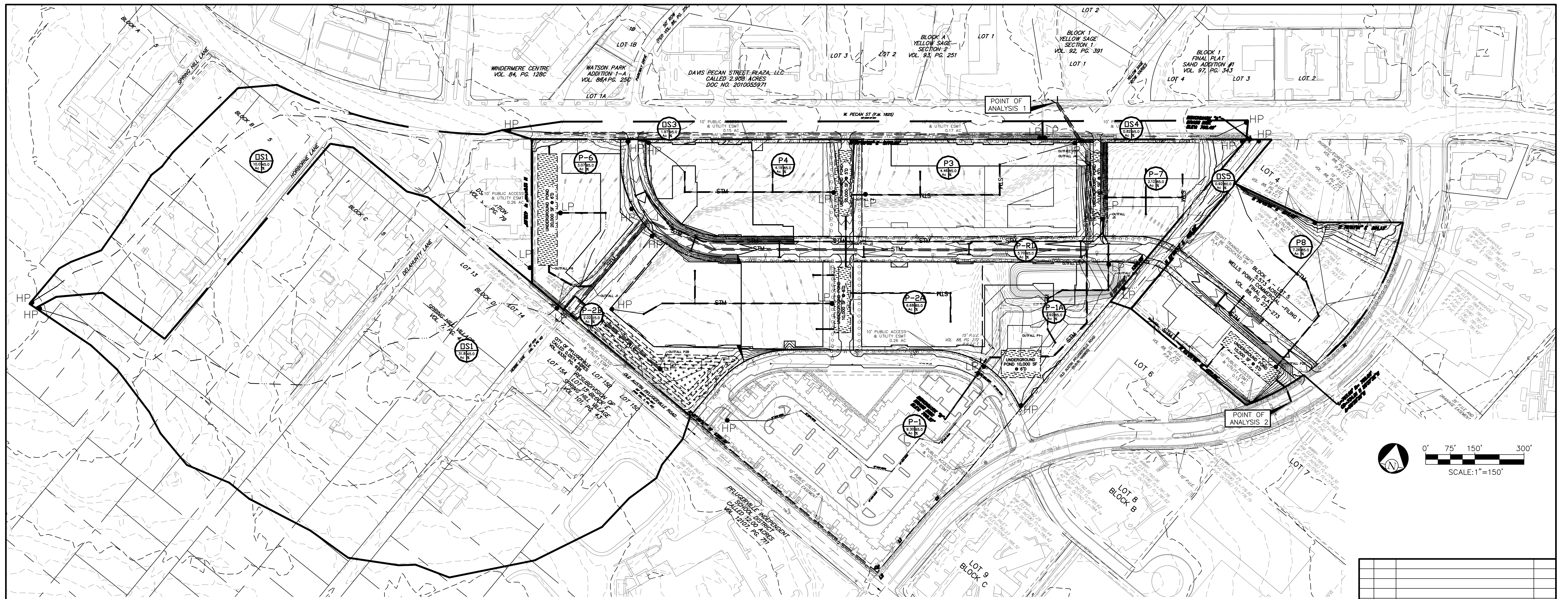
THE PECAN DISTRICT - PRELIMINARY PLAN  
PFLUGERVILLE, TX  
EXISTING DRAINAGE AREA MAP

**CIVILITUDE**  
ENGINEERS & PLANNERS

5110 LANCASTER COURT, AUSTIN, TX 78744  
PHONE 512 761 6161 FAX 512 761 6167  
FIRM REG NO. F12469 INFO@CIVILITUDE.COM

SCALE: 1" = 150' DGN. BY: NMH  
JOB NO. A356-002 DWN. BY: JJP

STATE OF TEXAS  
NHAT M. HO  
119194  
03-22-2020



Sub Basin	Downstream	Area (ac)	Impervious Cover (%)	HEC-HMS Outputs		
				Q2 (cfs)	Q25 (cfs)	Q100 (cfs)
OS1	Shallow Park Pond	31.83	0.45	73.3	179.5	245.3
OS2	Underground P6	10.01	0.45	21.7	53.0	72.5
OS3	Point of Analysis 1	1.97	0.95	6.2	12.9	16.9
OS4	Point of Analysis 1	0.81	0.95	3.2	6.4	8.4
OS5	Underground P1	0.92	0.8	3.3	6.9	9.1
P1	Underground P1	9.30	0.85	36.9	74.7	98.6
P1A	Underground P7	2.92	0.85	11.7	23.7	31.3
P2A	Underground P2	6.68	0.85	27.1	54.6	72.1
P2B	Shallow Park Pond	2.02	0.25	5.8	14.3	20.0
P3	Underground P4	4.46	0.85	18.0	36.3	47.9
P4	Underground P4	4.19	0.85	17.0	34.2	45.2
P6	Underground P6	3.07	0.85	12.5	25.1	33.1
P7	Underground P7	2.13	0.85	8.6	17.4	22.9
PRD	Underground P7	3.70	0.95	13.0	26.9	35.1
P8	Underground P8	7.26	0.85	29.3	59.1	78.0
<b>Shallow Park Pond</b>				<b>62.3</b>	<b>160.2</b>	<b>221.8</b>
<b>Underground P1</b>				<b>20.4</b>	<b>46.9</b>	<b>76.7</b>
<b>Underground P2</b>				<b>13.6</b>	<b>29.8</b>	<b>40.9</b>
<b>Underground P4</b>				<b>17.5</b>	<b>39.5</b>	<b>59.5</b>
<b>Underground P6</b>				<b>7.9</b>	<b>40</b>	<b>72.9</b>
<b>Underground P7</b>				<b>17.7</b>	<b>39</b>	<b>57.8</b>
<b>Underground P8</b>				<b>12.6</b>	<b>33.8</b>	<b>52.7</b>
<b>Point of Analysis 1</b>				<b>143.7</b>	<b>360.6</b>	<b>528.5</b>
<b>Point of Analysis 2</b>				<b>12.6</b>	<b>33.8</b>	<b>52.7</b>
<b>Increase in Runoff POA 1 (CFS) (Negative values mean controlled flows)</b>				<b>0</b>	<b>-9.4</b>	<b>-39.4</b>
<b>Increase in Runoff POA 2 (CFS) (Negative values mean controlled flows)</b>				<b>-0.2</b>	<b>-4.5</b>	<b>-2.5</b>

Sub Basin	Total Reach (ft)	Curve Number	Total Tc (min)	Lag Time (min)	Sheet Flow $T_c = 0.007 * ((nL)^{0.8}) / (P^2 * 0.5)^{0.4}$				Shallow Concentrated Flow Paved $T_t = L / (60 * 20.3282 * (s^{0.5}))$ Unpaved $T_t = L / (60 * 16.1345 * (s^{0.5}))$				Channel Flow $T_c = L / (60 * V)$		
					Reach (L) (ft)	Manning's (n)	Slope (s) (ft/ft)	Tc (min)	Reach (L) (ft)	Surface	Slope (s) (ft/ft)	Tc (min)	Length (ft)	Avg. Velocity (ft/s)	Tc (min)
OS1	1768	87.55	13.2	7.9	100	0.05	0.03	3.1	1668	Unpaved	0.03	10.2			
OS2	1952	87.55	15.2	9.1	100	0.05	0.03	3.1	1852	Unpaved	0.02	12.1			
OS3	1636	97.05	11.8	7.1	100	0.05	0.03	3.1	1536	Paved	0.02	8.7			
OS4	632	97.05	6.0	3.6	100	0.05	0.03	3.1	532	Paved	0.02	2.9			
OS5	628	94.2	6.2	3.7	100	0.05	0.03	3.1	528	Paved	0.02	3.1			
P1	123	95.15	5.3	3.2	100	0.05	0.03	3.1	23	Paved	0.02	0.1	1020	8.2	2.1
P1A	230	95.15	5.1	3.1	100	0.05	0.03	3.1	130	Paved	0.02	0.8	554	7.1	1.3
P2A	104	95.15	5 (minimum)	3.0	100	0.05	0.03	3.1	4	Paved	0.02	0.0	589	7.4	1.3
P2B	332	83.75	5 (minimum)	3.0	100	0.05	0.03	3.1	232	Paved	0.02	1.3			
P3	240	95.15	5.1	3.0	100	0.05	0.03	3.1	140	Paved	0.02	0.8	545	7.8	1.2
P4	143	95.15	5 (minimum)	3.0	100	0.05	0.03	3.1	43	Paved	0.02	0.2	518	7.6	1.1
P6	236	95.15	5 (minimum)	3.0	100	0.05	0.03	3.1	136	Paved	0.02	0.8	147	5.8	0.4
P7	259	95.15	5 (minimum)	3.0	100	0.05	0.03	3.1	159	Paved	0.02	0.9	230	6.3	0.6
PRD	173	97.05	7.1	4.3	100	0.05	0.03	3.1	73	Paved	0.02	0.4	1547	7.1	3.6
P8	250	95.15	5.1	3.0	100	0.05	0.03	3.1	150	Paved	0.02	0.9	445	6.7	1.1

**DETENTION POND PHASING:**  
 PHASE 1 (EXISTING): SURFACE POND TO REMAIN, SERVICING DRAINAGE AREAS P-1 AND P-1A.  
 PHASE 2: UNDERGROUND POND P2 AND SHALLOW PARK POND TO BE CONSTRUCTED.  
 PHASE 3: UNDERGROUND POND P4 TO BE CONSTRUCTED.  
 PHASE 4: CONNECT ADDITIONAL IMPERVIOUS COVER FROM DRAINAGE AREA P3 TO UNDERGROUND POND P4.  
 PHASE 5: CONNECT ADDITIONAL IMPERVIOUS COVER FROM P-2A TO UNDERGROUND POND P2. CONSTRUCT UNDERGROUND POND P1 AND P7. DEMOLISH EXISTING SURFACE POND.  
 PHASE 6: CONSTRUCT UNDERGROUND POND P6.  
 PHASE 7: CONNECT ADDITIONAL IMPERVIOUS COVER FROM DRAINAGE AREA P-7 TO UNDERGROUND POND P7.  
 PHASE 8: CONSTRUCT UNDERGROUND POND P8.  
 PHASE 9: CONNECT ADDITIONAL IMPERVIOUS COVER FROM TO UNDERGROUND POND P8.

OUTFALL CHARACTERISTICS					
OUTFALL	PROP. PIPE DIA.	Q25	Q100	V25 (FT/S)	V100 (FT/S)
P1	48	46.9	76.7	7.9	8.84
P1A	36	23.7	31.3	6.7	7.13
P2	36	29.8	40.9	7.06	7.51
P2B	72	160	221.8	10.7	11.6
P4	48	39.5	59.5	7.6	8.4
P6	48	40	72.9	7.6	8.8
P7	48	39	57.8	7.6	8.3
P8	48	33.8	52.7	7.3	8.2
J1	72	200	294.7	8.7	9.1
J2	72	269.3	395.1	15.8	17
J3	4X4	316.2	471.8	10.9	11.4
J4	4X4	355.2	529.6	11.1	11.5
J5	48	50.6	66.4	8.1	8.6
POA1	4X4	360.6	528.5	11.1	11.5
POA2	48	33.8	52.7	7.3	8.2

**NOTES:**  
 1. EROSION PROTECTION AND ENERGY DISSIPATION STRUCTURES AND/OR CONTROLS WILL NEED TO BE PROVIDED FOR OUTFALLS ONTO ADJACENT PROPERTIES. FLOWS AT ALL OUTFALLS MUST BE RETURNED TO PREDEVELOPMENT CONDITIONS OR BE DISCHARGED AS SHEET FLOW.

NO.	DATE	REVISIONS

THE PECAN DISTRICT - PRELIMINARY PLAN  
 PFLUGERVILLE, TX  
**PROPOSED DRAINAGE AREA MAP**

**CIVILITUDE ENGINEERS & PLANNERS**  
 5110 LANCASTER COURT, PFLUGERVILLE, TX 78744  
 PHONE 512 761 6161 FAX 512 761 6167  
 FIRM REG NO. F12469 INFO@CIVILITUDE.COM

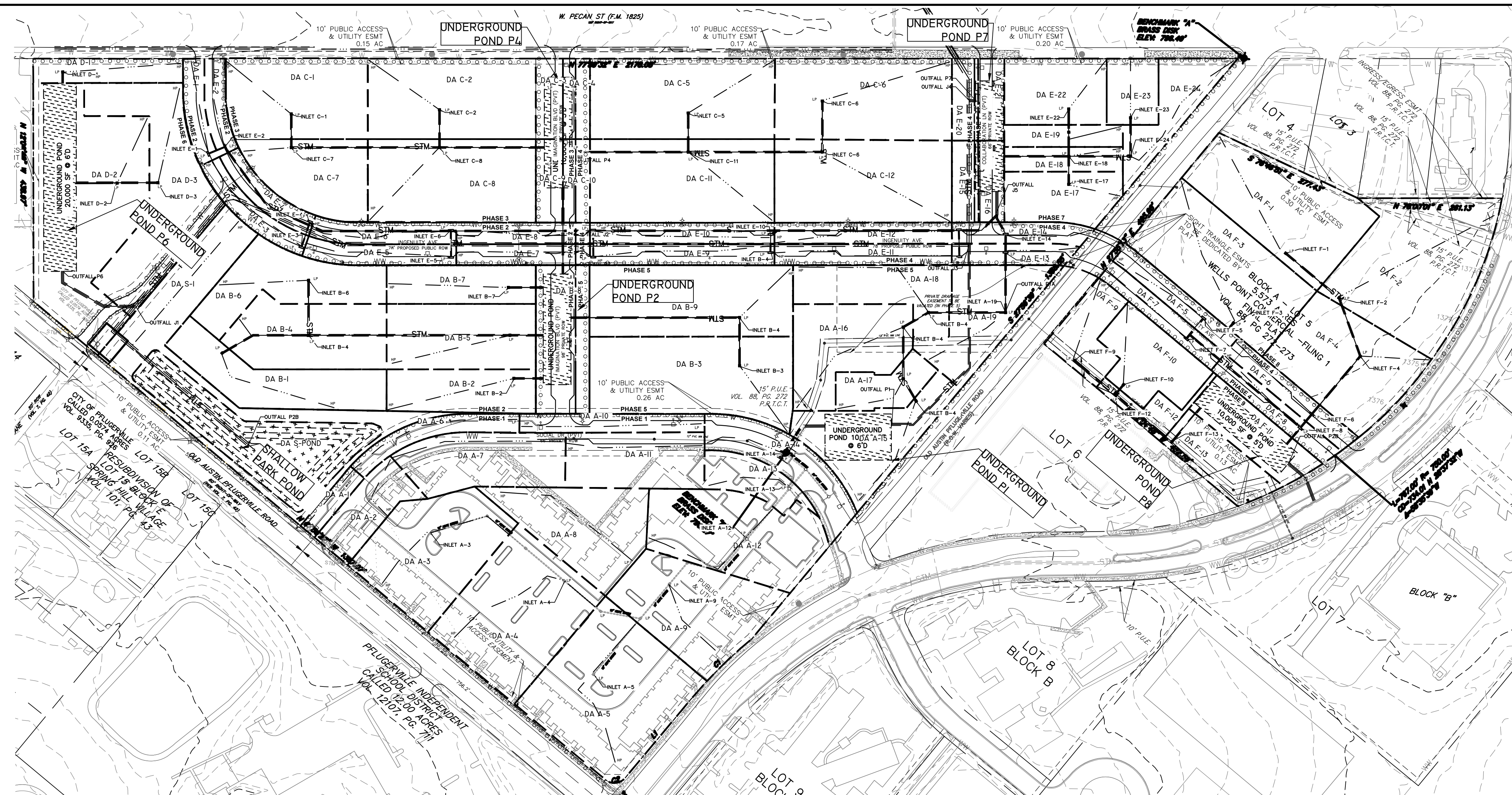
SCALE: 1" = 150' DGN. BY: NMH  
 JOB NO. A356-002 DWN. BY: JLP

STATE OF TEXAS  
 NHAT M. HO  
 119194  
 LICENSED PROFESSIONAL ENGINEER  
 03-22-2020

SHEET NO. 08 OF 16

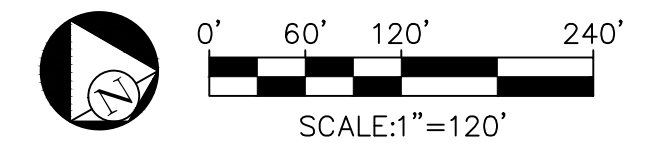


SUBBASIN ID	AREA (AC)	Runoff Coefficient		TC (MIN)	Q25 (CFS)	Q100 (CFS)
		25 YR	100 YR			
DA A-1	0.11	0.81	0.90	5.00	0.98	1.42
DA A-2	0.36	0.81	0.90	5.00	3.30	4.79
DA A-3	1.00	0.81	0.90	5.00	9.21	13.37
DA A-4	1.20	0.81	0.90	5.00	11.02	16.01
DA A-5	1.39	0.81	0.90	5.00	12.83	18.64
DA A-6	0.24	0.81	0.90	5.00	2.25	3.27
DA A-7	0.67	0.81	0.90	5.00	6.15	8.93
DA A-8	0.79	0.81	0.90	5.00	7.31	10.62
DA A-9	0.94	0.81	0.90	5.00	8.62	12.52
DA A-10	0.26	0.81	0.90	5.00	2.42	3.51
DA A-11	0.58	0.81	0.90	5.00	5.37	7.80
DA A-12	0.99	0.81	0.90	5.00	9.14	13.27
DA A-13	0.27	0.81	0.90	5.00	2.51	3.65
DA A-14	0.50	0.81	0.90	5.00	4.61	6.69
DA A-15	0.70	0.42	0.49	5.00	3.35	5.12
DA A-16	0.72	0.42	0.49	5.00	3.48	5.32
DA A-17	0.28	0.42	0.49	5.00	1.33	2.04
DA A-18	0.55	0.42	0.49	5.00	2.67	4.08
DA A-19	0.65	0.63	0.71	5.00	4.66	6.88
DA S-1	1.06	0.42	0.49	5.00	5.09	7.77
DA S-POND	0.96	0.42	0.49	5.00	4.63	7.09
DA B-1	0.69	0.86	0.95	5.00	6.67	9.66
DA B-2	0.48	0.86	0.95	5.00	4.68	6.78
DA B-3	1.22	0.86	0.95	5.00	11.88	17.20
DA B-4	0.76	0.86	0.95	5.00	7.38	10.69
DA B-5	0.73	0.86	0.95	5.00	7.13	10.33
DA B-6	0.68	0.86	0.95	5.00	6.58	9.53
DA B-7	0.43	0.86	0.95	5.00	4.22	6.12
DA B-8	0.60	0.81	0.90	5.00	5.51	8.01
DA B-9	1.09	0.86	0.95	5.00	10.62	15.38
DA D-1	0.27	0.51	0.59	5.00	1.58	2.38
DA D-2	1.72	0.79	0.87	5.00	15.42	22.43
DA D-3	1.08	0.88	0.97	5.00	10.77	15.58
DA C-1	0.85	0.88	0.97	5.00	8.53	12.33
DA C-2	1.01	0.83	0.92	5.00	9.60	13.92
DA C-3	0.16	0.81	0.90	5.00	1.51	2.19
DA C-4	0.16	0.81	0.90	5.00	1.51	2.19
DA C-5	1.12	0.83	0.92	5.00	10.56	15.31
DA C-6	1.08	0.83	0.92	5.00	10.22	14.82
DA C-7	0.62	0.70	0.78	5.00	4.87	7.15
DA C-8	1.04	0.83	0.92	5.00	9.86	14.30
DA C-9	0.17	0.81	0.90	5.00	1.56	2.27
DA C-10	0.17	0.81	0.90	5.00	1.56	2.27
DA C-11	1.16	0.83	0.92	5.00	10.97	15.91
DA C-12	1.10	0.83	0.92	5.00	10.45	15.16
DA E-1	0.17	0.81	0.90	5.00	1.53	2.23
DA E-2	0.15	0.81	0.90	5.00	1.38	2.01
DA E-3	0.21	0.81	0.90	5.00	1.90	2.76
DA E-4	0.18	0.81	0.90	5.00	1.70	2.46
DA E-5	0.24	0.81	0.90	5.00	2.19	3.18
DA E-6	0.24	0.81	0.90	5.00	2.22	3.22
DA E-7	0.21	0.81	0.90	5.00	1.93	2.80
DA E-8	0.22	0.81	0.90	5.00	2.00	2.90
DA E-9	0.29	0.81	0.90	5.00	2.69	3.91
DA E-10	0.29	0.81	0.90	5.00	2.71	3.93
DA E-11	0.28	0.81	0.90	5.00	2.60	3.77
DA E-12	0.28	0.81	0.90	5.00	2.59	3.76
DA E-13	0.19	0.81	0.90	5.00	1.77	2.58
DA E-14	0.22	0.81	0.90	5.00	2.01	2.92
DA E-15	0.16	0.81	0.90	5.00	1.50	2.18
DA E-16	0.16	0.81	0.90	5.00	1.47	2.13
DA E-17	0.44	0.88	0.97	5.00	4.35	6.29
DA E-18	0.22	0.83	0.92	5.00	2.08	3.02
DA E-19	0.20	0.83	0.92	5.00	1.86	2.69
DA E-20	0.16	0.81	0.90	5.00	1.48	2.16
DA E-21	0.16	0.81	0.90	5.00	1.48	2.15
DA E-22	0.51	0.88	0.97	5.00	5.09	7.36
DA E-23	0.26	0.81	0.90	5.00	2.37	3.45
DA E-24	0.41	0.81	0.90	5.00	3.81	5.53
DA F-1	1.07	0.81	0.90	5.00	9.89	14.37
DA F-2	1.36	0.74	0.83	5.00	11.47	16.75
DA F-3	1.13	0.81	0.90	5.00	10.41	15.13
DA F-4	0.95	0.81	0.90	5.00	8.73	12.68
DA F-5	0.23	0.81	0.90	5.00	2.16	3.14
DA F-6	0.25	0.81	0.90	5.00	2.29	3.33
DA F-7	0.24	0.81	0.90	5.00	2.17	3.15
DA F-8	0.24	0.81	0.90	5.00	2.21	3.22
DA F-9	0.33	0.44	0.51	5.00	1.66	2.52
DA F-10	0.50	0.88	0.97	5.00	4.99	7.22
DA F-11	0.42	0.74	0.83	5.00	3.56	5.20
DA F-12	0.17	0.44	0.51	5.00	0.83	1.26
DA F-13	0.37	0.81	0.90	5.00	3.41	4.95



- ### EXISTING LEGEND
- FIRE HYDRANT W/ GATE VALVE
  - WATERLINE W/ GATE VALVE
  - WATERLINE W/ DOUBLE SERVICE
  - WATERLINE W/ SINGLE SERVICE
  - WASTEWATER W/ MANHOLE
  - WASTEWATER W/ CLEANOUT
  - WASTEWATER W/ DOUBLE SERVICE
  - WASTEWATER W/ SINGLE SERVICE
  - STORM SEWER W/ MANHOLE
  - STORM SEWER W/ CURB INLET
  - GAS LINE
  - OVERHEAD ELECTRIC LINE
  - TELEPHONE LINE
  - UNDERGROUND CABLE
  - UNDERGROUND ELECTRIC

- ### PROPOSED LEGEND
- FIRE HYDRANT W/ GATE VALVE
  - WATERLINE W/ GATE VALVE
  - WATERLINE W/ DOUBLE SERVICE
  - WATERLINE W/ SINGLE SERVICE
  - WASTEWATER W/ MANHOLE
  - WASTEWATER W/ CLEANOUT
  - WASTEWATER W/ DOUBLE SERVICE
  - WASTEWATER W/ SINGLE SERVICE
  - STORM SEWER W/ MANHOLE
  - STORM SEWER W/ CURB INLET
  - RECLAIMED WATER
  - EASEMENT LINE
  - LOT LINE
  - PHASE LINE
  - SIDEWALK PER PUD CROSS SECTION
  - POLE MOUNTED STREET LIGHT



SUB-DRAINAGE AREAS													
SHALLOW PARK POND		UNDERGROUND P1		UNDERGROUND P2		UNDERGROUND P4		UNDERGROUND P6		UNDERGROUND P7		UNDERGROUND P8	
SUB-DA	ACRES	SUB-DA	ACRES	SUB-DA	ACRES	SUB-DA	ACRES	SUB-DA	ACRES	SUB-DA	ACRES	SUB-DA	ACRES
DA S-1	1.06	DA A-1	0.11	DA B-1	0.69	DA C-1	0.85	DA D-1	0.27	DA E-1	0.17	DA F-1	1.07
DA S-POND	0.96	DA A-2	0.36	DA B-2	0.48	DA C-2	1.01	DA D-2	1.72	DA E-2	0.15	DA F-2	1.36
<b>TOTAL</b>	<b>2.02</b>	DA A-3	1.00	DA B-3	1.22	DA C-3	0.16	DA D-3	1.08	DA E-3	0.21	DA F-3	1.13
		DA A-4	1.20	DA B-4	0.76	DA C-4	0.16	<b>TOTAL</b>	<b>3.07</b>	DA E-4	0.18	DA F-4	0.95
		DA A-5	1.39	DA B-5	0.73	DA C-5	1.12			DA E-5	0.24	DA F-5	0.23
		DA A-6	0.24	DA B-6	0.68	DA C-6	1.08			DA E-6	0.24	DA F-6	0.25
		DA A-7	0.67	DA B-7	0.43	DA C-7	0.62			DA E-7	0.21	DA F-7	0.24
		DA A-8	0.79	DA B-8	0.60	DA C-8	1.04			DA E-8	0.22	DA F-8	0.24
		DA A-9	0.94	DA B-9	1.09	DA C-9	0.17			DA E-9	0.29	DA F-9	0.33
		DA A-10	0.26	<b>TOTAL</b>	<b>6.68</b>	DA C-10	0.17			DA E-10	0.29	DA F-10	0.50
		DA A-11	0.58			DA C-11	1.16			DA E-11	0.28	DA F-11	0.42
		DA A-12	0.99			DA C-12	1.10			DA E-12	0.28	DA F-12	0.17
		P2	36			<b>TOTAL</b>	<b>8.65</b>			DA E-13	0.19	DA F-13	0.37
		P2B	72							DA E-14	0.22	<b>TOTAL</b>	<b>7.26</b>
		P4	48							DA E-15	0.16		
		P6	48							DA E-16	0.16		
		P7	48							DA E-17	0.44		
		P8	48							DA E-18	0.22		
		J1	72							DA E-19	0.20		
		J2	72							DA E-20	0.16		
		J3	4X4							DA E-21	0.16		
		J4	4X4							DA E-22	0.51		
		J5	48							DA E-23	0.26		
		POA1	4X4							DA E-24	0.41		
		POA2	48							<b>TOTAL</b>	<b>4.35</b>		
<b>TOTAL</b>	<b>44.25</b>												

OUTFALL CHARACTERISTICS					
OUTFALL	PROP. PIPE DIA.	Q25	Q100	V25 (FT/S)	V100 (FT/S)
P1	48	46.9	76.7	7.9	8.84
P1A	36	23.7	31.3	6.7	7.13
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P2B	72	160	221.8	10.7	11.6
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P7	48	39	57.8	7.6	8.3
P8	48	33.8	52.7	7.3	8.2
J1	72	200	294.7	8.7	9.1
J2	72	269.3	395.1	15.8	17
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J4	4X4	355.2	529.6	11.1	11.5
J5	48	50.6	66.4	8.1	8.6
POA1	4X4	360.6	528.5	11.1	11.5
POA2	48	33.8	52.7	7.3	8.2

NOTE: DRAINAGE AREA TOTAL MAY DIFFER SLIGHTLY BASED ON ROUNDING EACH DRAINAGE AREA TO THE NEAREST ONE HUNDREDTH

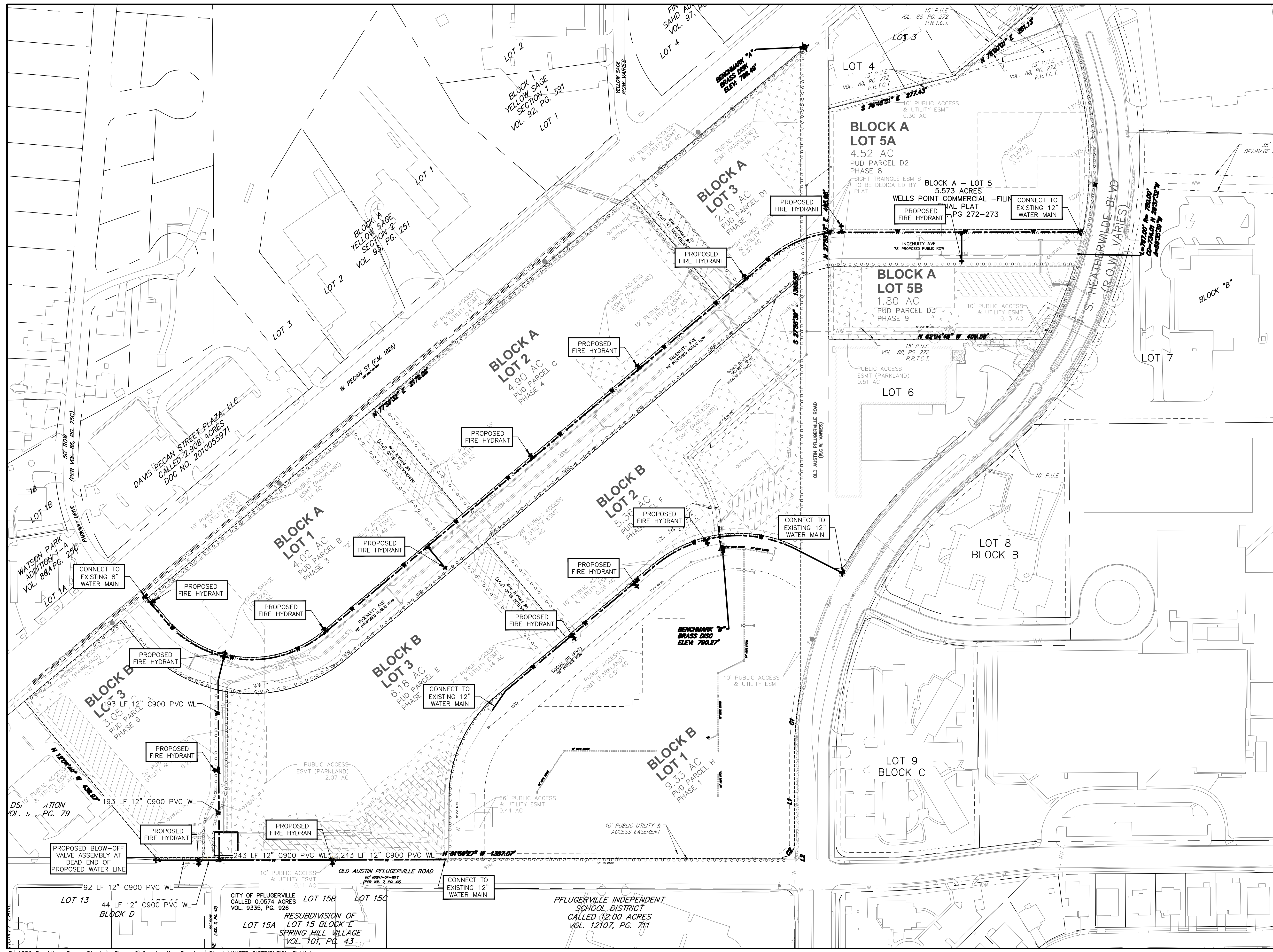
NO.	DATE	REVISIONS

THE PECAN DISTRICT – PRELIMINARY PLAN  
PFLUGERVILLE, TX  
**PROPOSED SUB-DRAINAGE AREA MAP**

**CIVILITUDE ENGINEERS & PLANNERS**  
5110 LANCASTER COURT, AUSTIN, TX 78744  
PHONE 512 761 6161 FAX 512 761 6167  
FIRM REG NO. F12469 INFO@CIVILITUDE.COM

SCALE: 1" = 100' DGN. BY: NMH  
JOB NO. A356-002 DWN. BY: JP

SHEET NO. 09 OF 16



- EXISTING LEGEND**
- FIRE HYDRANT W/ GATE VALVE
  - WATERLINE W/ GATE VALVE
  - WATERLINE W/ DOUBLE SERVICE
  - WATERLINE W/ SINGLE SERVICE
  - WASTEWATER W/ MANHOLE
  - WASTEWATER W/ CLEANOUT
  - WASTEWATER W/ DOUBLE SERVICE
  - WASTEWATER W/ SINGLE SERVICE
  - STORM SEWER W/ MANHOLE
  - STORM SEWER W/ CURB INLET
  - GAS LINE
  - OVERHEAD ELECTRIC LINE
  - TELEPHONE LINE
  - UNDERGROUND CABLE
  - UNDERGROUND ELECTRIC

- PROPOSED LEGEND**
- FIRE HYDRANT W/ GATE VALVE
  - WATERLINE W/ GATE VALVE
  - WATERLINE W/ DOUBLE SERVICE
  - WATERLINE W/ SINGLE SERVICE
  - WASTEWATER W/ MANHOLE
  - WASTEWATER W/ CLEANOUT
  - WASTEWATER W/ DOUBLE SERVICE
  - WASTEWATER W/ SINGLE SERVICE
  - STORM SEWER W/ MANHOLE
  - STORM SEWER W/ CURB INLET
  - RECLAIMED WATER
  - EASEMENT LINE
  - LOT LINE
  - PHASE LINE
  - SIDEWALK PER PUD CROSS SECTION
  - POLE MOUNTED STREET LIGHT



NO.	DATE	REVISIONS

THE PECAN DISTRICT - PRELIMINARY PLAN  
PFLUGERVILLE, TX

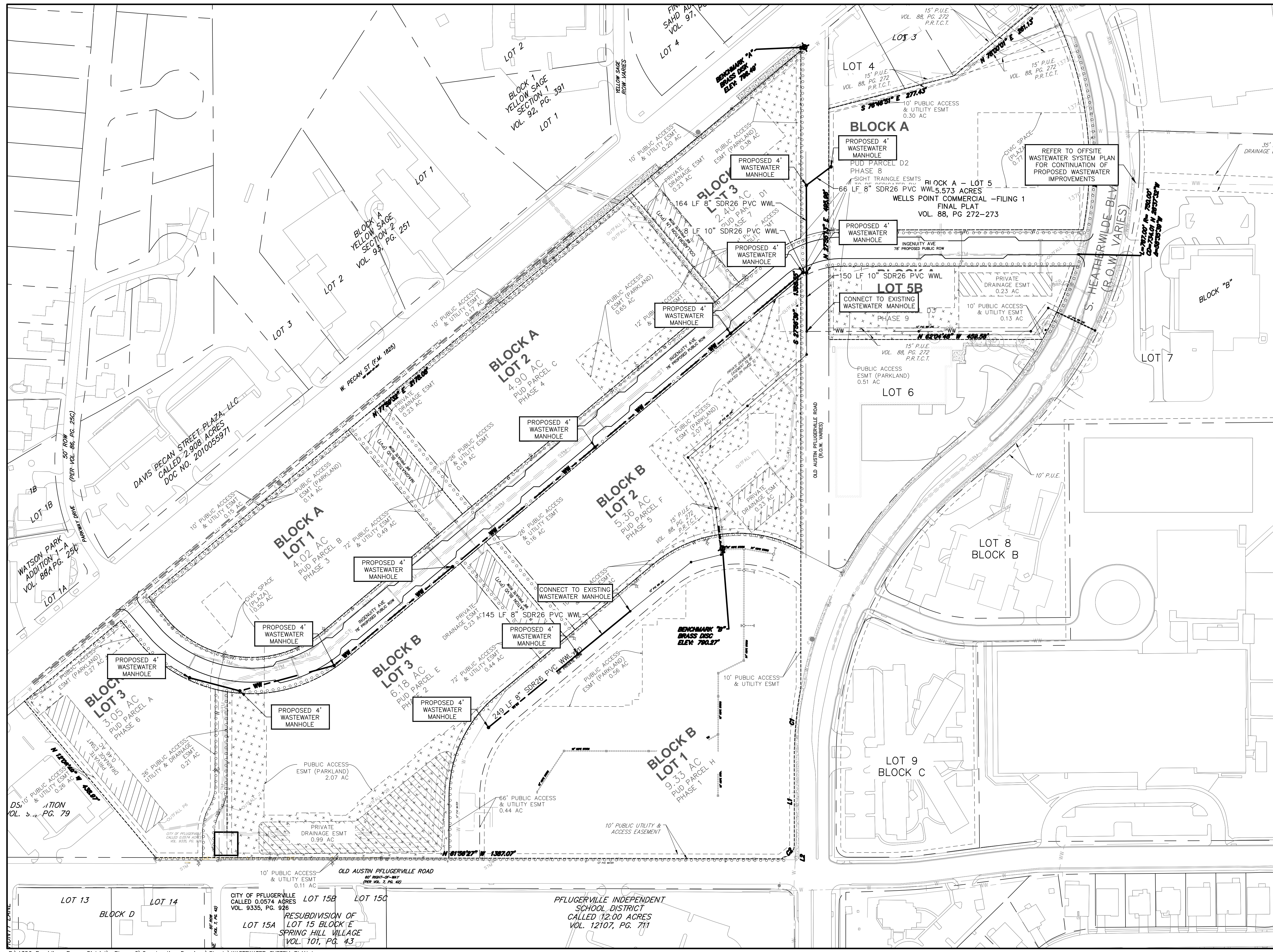
**WATER DISTRIBUTION PLAN**

**CIVILITUDE**  
ENGINEERS & PLANNERS

5110 LANCASTER COURT, AUSTIN, TX 78744  
PHONE 512 761 6161 FAX 512 761 6167  
FIRM REG NO. F12469 INFO@CIVILITUDE.COM

SCALE: 1" = 100' DGN. BY: NMH  
JOB NO. A356-002 DWN. BY: JP

SHEET NO. 10 OF 16



- EXISTING LEGEND**
- FIRE HYDRANT W/ GATE VALVE
  - WATERLINE W/ GATE VALVE
  - WATERLINE W/ DOUBLE SERVICE
  - WATERLINE W/ SINGLE SERVICE
  - WASTEWATER W/ MANHOLE
  - WASTEWATER W/ CLEANOUT
  - WASTEWATER W/ DOUBLE SERVICE
  - WASTEWATER W/ SINGLE SERVICE
  - STORM SEWER W/ MANHOLE
  - STORM SEWER W/ CURB INLET
  - GAS LINE
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- PROPOSED LEGEND**
- FIRE HYDRANT W/ GATE VALVE
  - WATERLINE W/ GATE VALVE
  - WATERLINE W/ DOUBLE SERVICE
  - WATERLINE W/ SINGLE SERVICE
  - WASTEWATER W/ MANHOLE
  - WASTEWATER W/ CLEANOUT
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  - WASTEWATER W/ SINGLE SERVICE
  - STORM SEWER W/ MANHOLE
  - STORM SEWER W/ CURB INLET
  - RECLAIMED WATER
  - EASEMENT LINE
  - LOT LINE
  - PHASE LINE
  - SIDEWALK PER PUD CROSS SECTION
  - POLE MOUNTED STREET LIGHT



NO.	DATE	REVISIONS

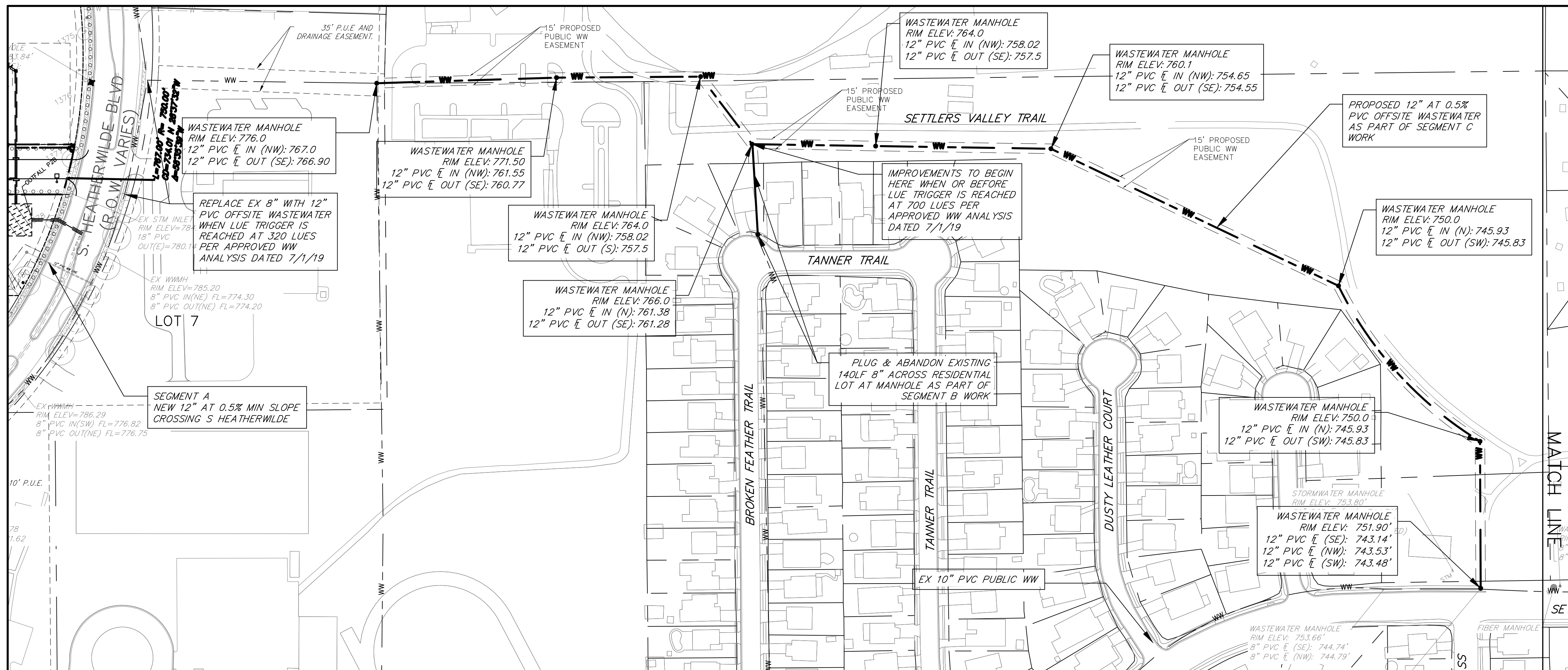
THE PECAN DISTRICT - PRELIMINARY PLAN  
PFLUGERVILLE, TX  
WASTEWATER SYSTEM PLAN

**CIVILITUDE**  
ENGINEERS & PLANNERS

5110 LANCASTER COURT, AUSTIN, TX 78744  
PHONE 512 761 6161 FAX 512 761 6167  
FIRM REG NO. F12469 INFO@CIVILITUDE.COM

SCALE: 1" = 100' DGN. BY: NMH  
JOB NO. A356-002 DWN. BY: JLP

STATE OF TEXAS  
NHAAT M. HO  
119194  
03-22-2020



**GENERAL NOTES:**

- THE EXISTING SYSTEM REQUIRES IMPROVEMENTS TO SUPPORT THE FULL BUILT-OUT CONDITIONS OF PECAN DISTRICT DEVELOPMENT.
- THE UPDATED WASTEWATER ANALYSIS PROPOSES TO INCREASE THE PROPOSED DENSITY TO 1,286 LUES.
- PROPOSED CROSSING (WITH BORING AND ENCASMENT) A 12" PIPE TO LINE UP WITH THE EXISTING MANHOLE AND EXISTING 8" LINE.
- REPLACE EXISTING 8" WITH 12" AT 1.1% MIN (OR 12" AT 0.5% MIN) AND RUN PIPE IN THE SAME EXISTING UTILITIES EASEMENT.
- REMOVE EXISTING 8" PIPE CROSSING RESIDENTIAL LOT AND DISCONNECT THE PROPOSED FLOW FROM THE RESIDENTIAL AREA.
- INSTALL NEW 12" AT 1.1% MIN (OR 12" AT 0.5% MIN) ALONG CREEK (CITY LAND) AND TIE INTO EXISTING 12" LINE WITH NEW MANHOLE JUST DOWNSTREAM OF SETTLERS VALLEY AND SMOKE SIGNAL INTERSECTION.
- REPLACE EXISTING 12" PIPE SEGMENTS WITH 0.44 & 0.45% SLOPE TO WITH 12" PIPE WITH HIGHER SLOPE (1.0% MIN).
- RECONNECT SERVICES ALONG NEW MAIN (APPROXIMATELY 12 HOUSES).
- REPLACE EXISTING 12" PIPE WITH 15" AT LOWER SLOPE TO CREATE DROP FOR UPSTREAM SEGMENTS.
- WW EASEMENTS WILL BE DEDICATED DURING THE CONSTRUCTION PERMITTING STAGE IF NEEDED WITHIN THE LAND OWNED BY THE CITY OF PFLUGERVILLE.

**EXISTING LEGEND**

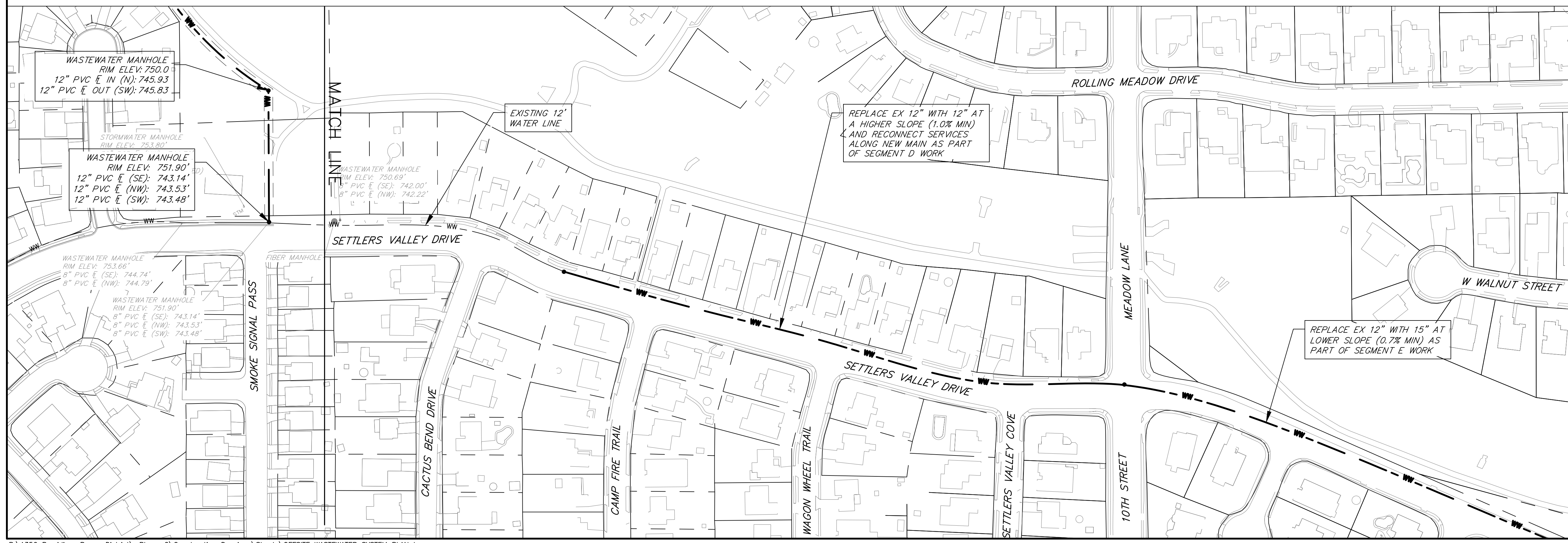
- FIRE HYDRANT W/ GATE VALVE
- WATERLINE W/ GATE VALVE
- WATERLINE W/ DOUBLE SERVICE
- WATERLINE W/ SINGLE SERVICE
- WASTEWATER W/ MANHOLE
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- WASTEWATER W/ SINGLE SERVICE
- STORM SEWER W/ MANHOLE
- STORM SEWER W/ CURB INLET
- GAS LINE
- OVERHEAD ELECTRIC LINE
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- UNDERGROUND CABLE
- UNDERGROUND ELECTRIC

**PROPOSED LEGEND**

- FIRE HYDRANT W/ GATE VALVE
- WATERLINE W/ GATE VALVE
- WATERLINE W/ DOUBLE SERVICE
- WATERLINE W/ SINGLE SERVICE
- WASTEWATER W/ MANHOLE
- WASTEWATER W/ CLEANOUT
- WASTEWATER W/ DOUBLE SERVICE
- WASTEWATER W/ SINGLE SERVICE
- STORM SEWER W/ MANHOLE
- STORM SEWER W/ CURB INLET
- RECLAIMED WATER
- EASEMENT LINE
- LOT LINE
- PHASE LINE
- SIDEWALK PER PUD CROSS SECTION
- POLE MOUNTED STREET LIGHT

0' 50' 100' 200'

SCALE: 1"=100'



NO.	DATE	REVISIONS

THE PECAN DISTRICT - PRELIMINARY PLAN  
PFLUGERVILLE, TX

OFFSITE WASTEWATER SYSTEM PLAN

**CIVILITUDE**  
ENGINEERS & PLANNERS

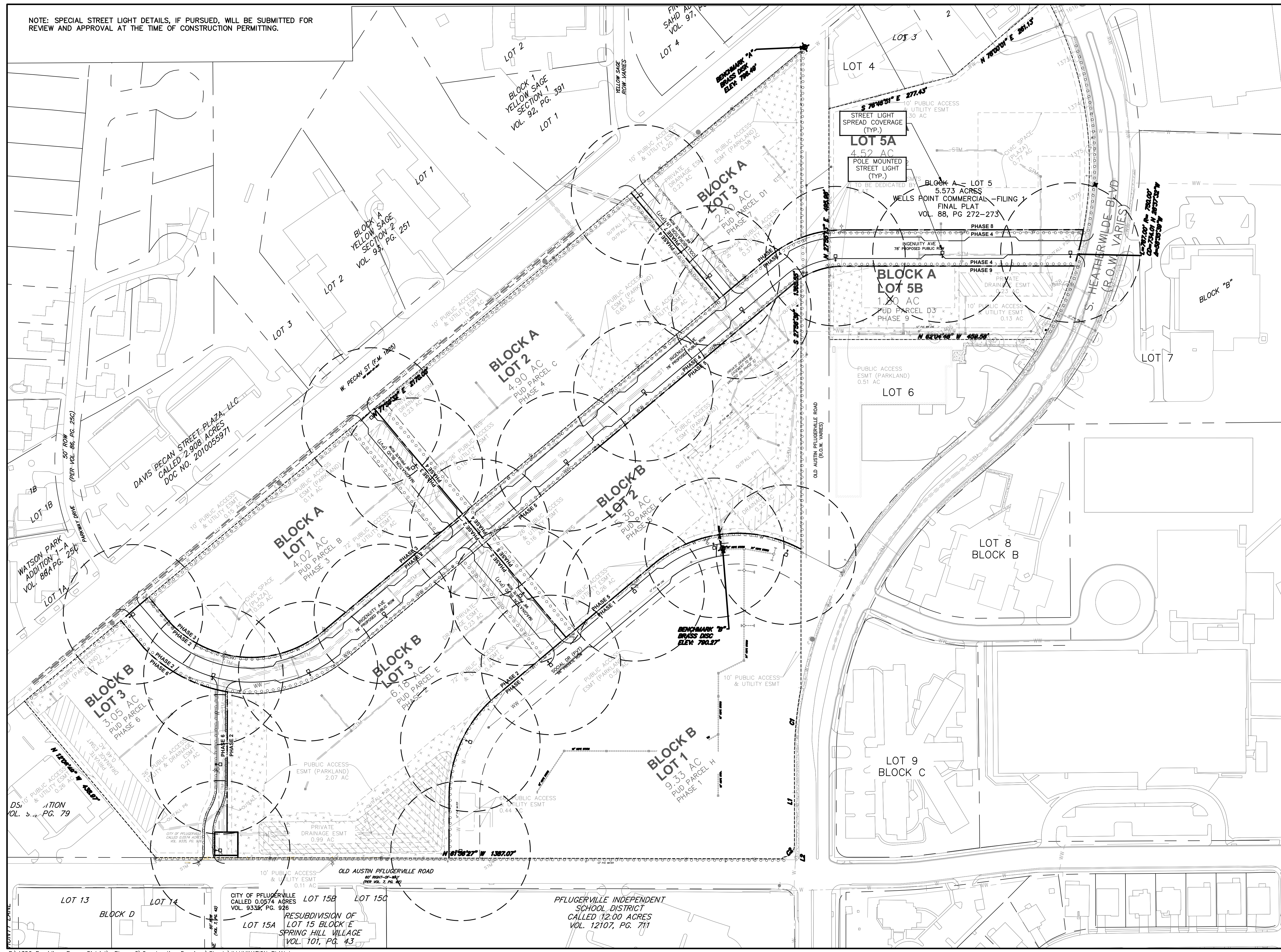
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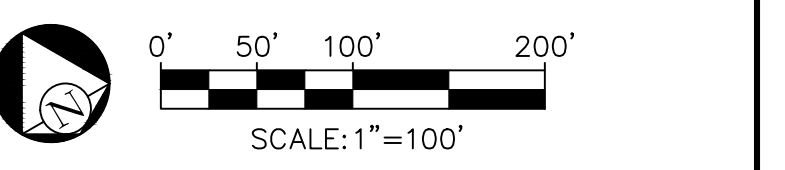
SHEET NO. 12 OF 16

NOTE: SPECIAL STREET LIGHT DETAILS, IF PURSUED, WILL BE SUBMITTED FOR REVIEW AND APPROVAL AT THE TIME OF CONSTRUCTION PERMITTING.



- EXISTING LEGEND**
- FIRE HYDRANT W/ GATE VALVE
  - WATERLINE W/ GATE VALVE
  - WATERLINE W/ DOUBLE SERVICE
  - WATERLINE W/ SINGLE SERVICE
  - WASTEWATER W/ MANHOLE
  - WASTEWATER W/ CLEANOUT
  - WASTEWATER W/ DOUBLE SERVICE
  - WASTEWATER W/ SINGLE SERVICE
  - STORM SEWER W/ MANHOLE
  - STORM SEWER W/ CURB INLET
  - GAS LINE
  - OVERHEAD ELECTRIC LINE
  - TELEPHONE LINE
  - UNDERGROUND CABLE
  - UNDERGROUND ELECTRIC

- PROPOSED LEGEND**
- FIRE HYDRANT W/ GATE VALVE
  - WATERLINE W/ GATE VALVE
  - WATERLINE W/ DOUBLE SERVICE
  - WATERLINE W/ SINGLE SERVICE
  - WASTEWATER W/ MANHOLE
  - WASTEWATER W/ CLEANOUT
  - WASTEWATER W/ DOUBLE SERVICE
  - WASTEWATER W/ SINGLE SERVICE
  - STORM SEWER W/ MANHOLE
  - STORM SEWER W/ CURB INLET
  - RECLAIMED WATER
  - EASEMENT LINE
  - LOT LINE
  - PHASE LINE
  - SIDEWALK PER PUD CROSS SECTION
  - POLE MOUNTED STREET LIGHT



NO.	DATE	REVISIONS

THE PECAN DISTRICT - PRELIMINARY PLAN  
PFLUGERVILLE, TX

**ILLUMINATION PLAN**

**CIVILITUDE**  
ENGINEERS & PLANNERS

5110 LANCASTER COURT, AUSTIN, TX 78744  
PHONE 512 761 6161 FAX 512 761 6167  
FIRM REG NO. F12469 INFO@CIVILITUDE.COM

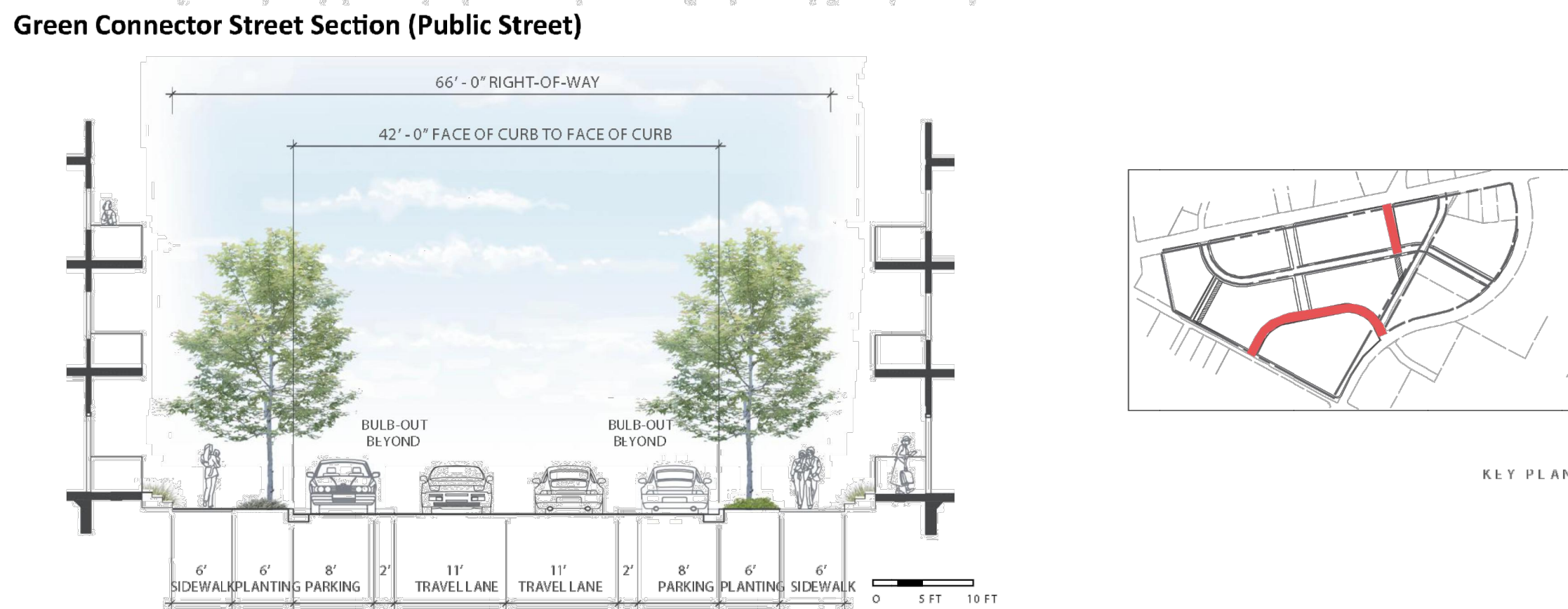
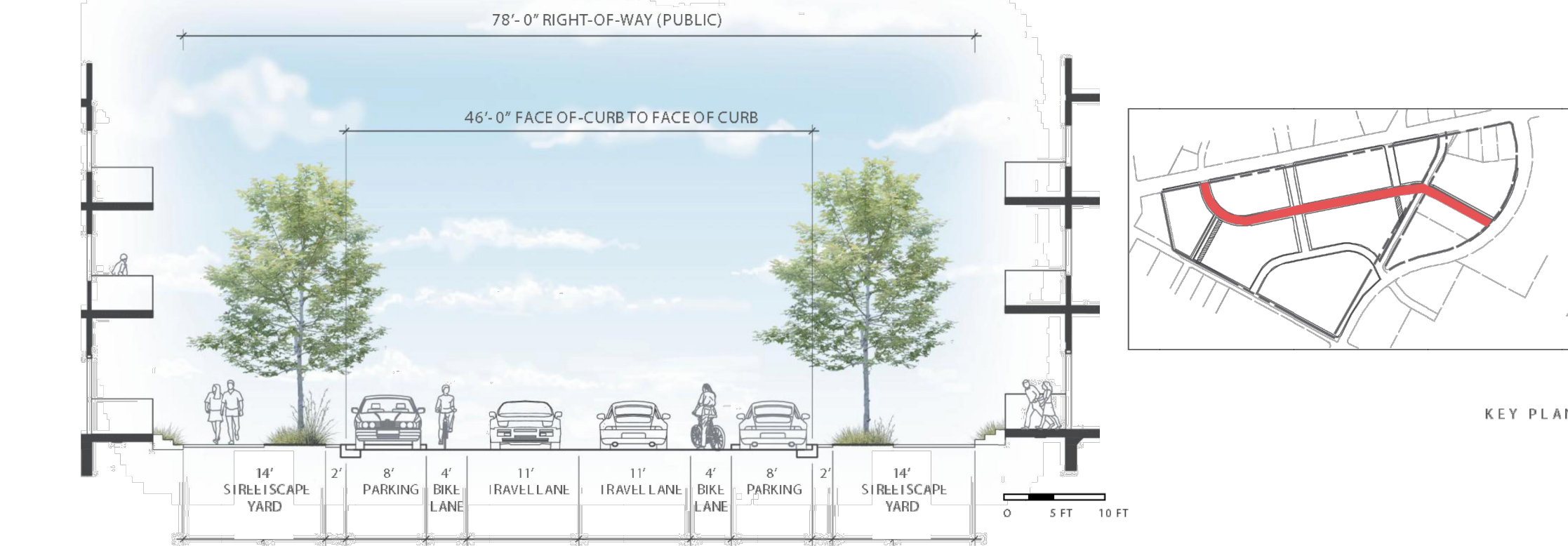
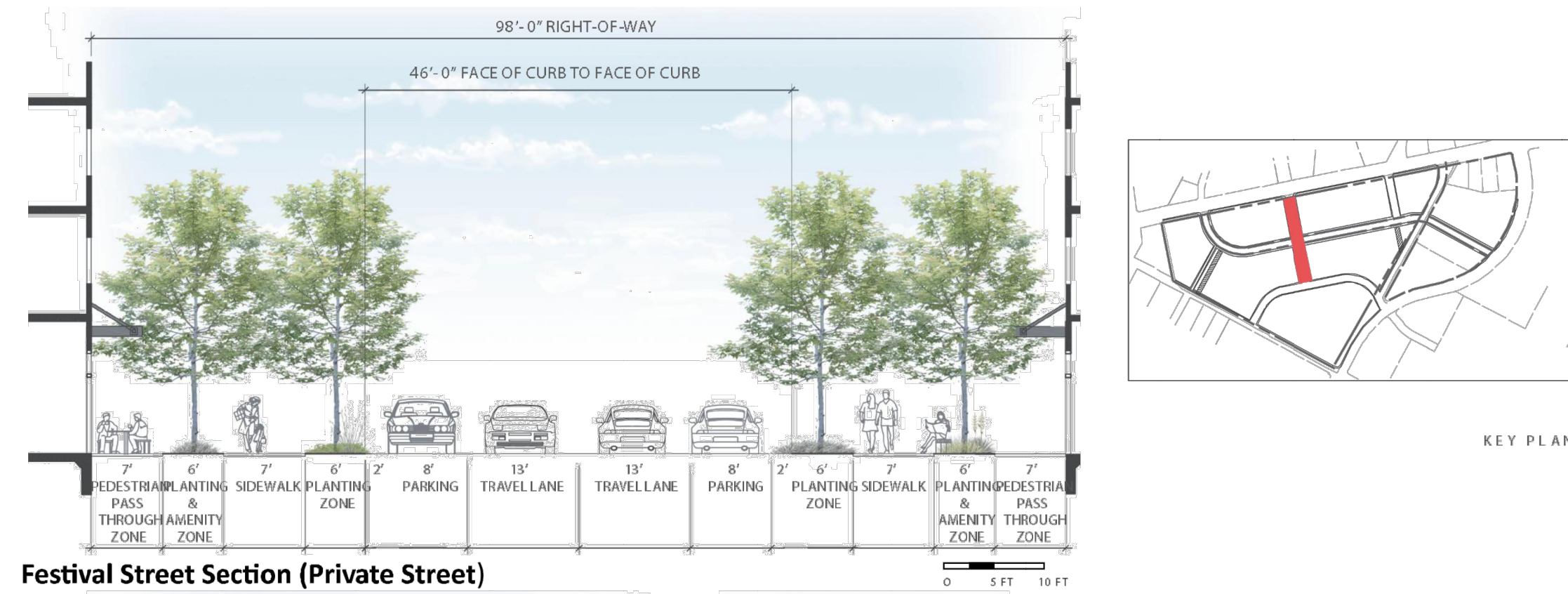
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JOB NO. A356-002 DWN. BY: JLP

SHEET NO. 13 OF 16



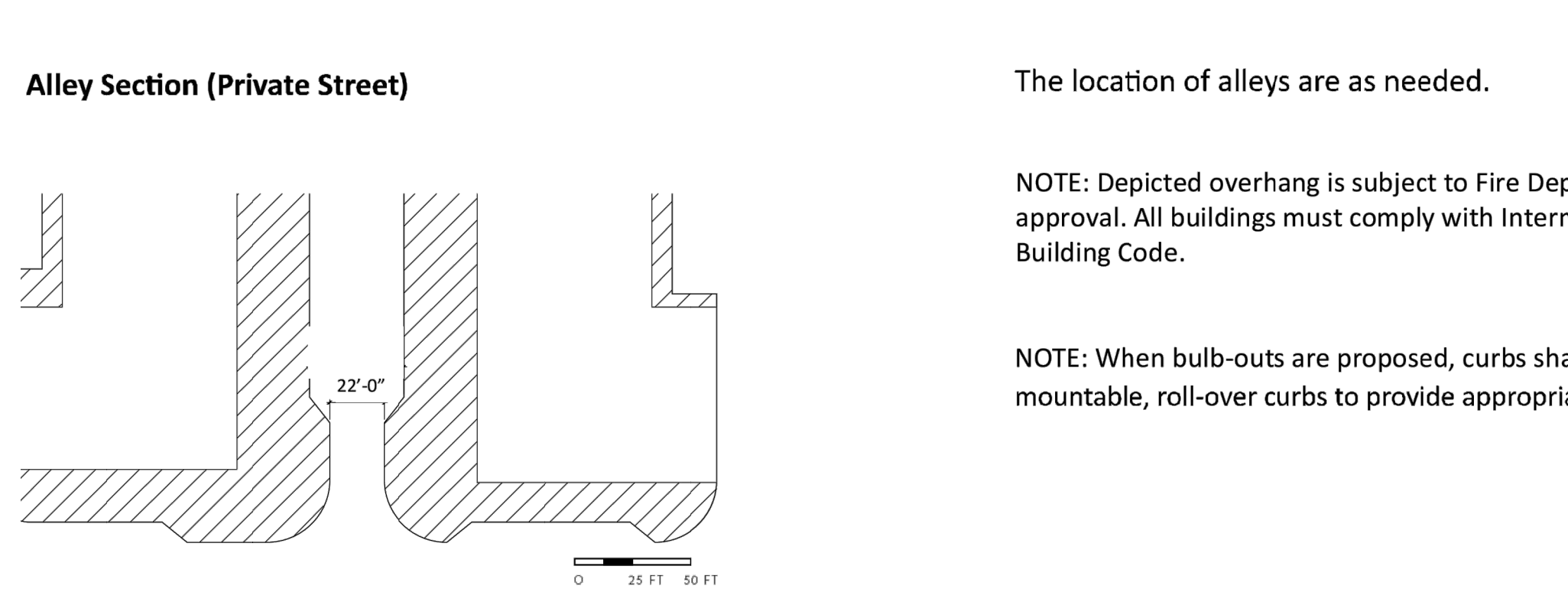
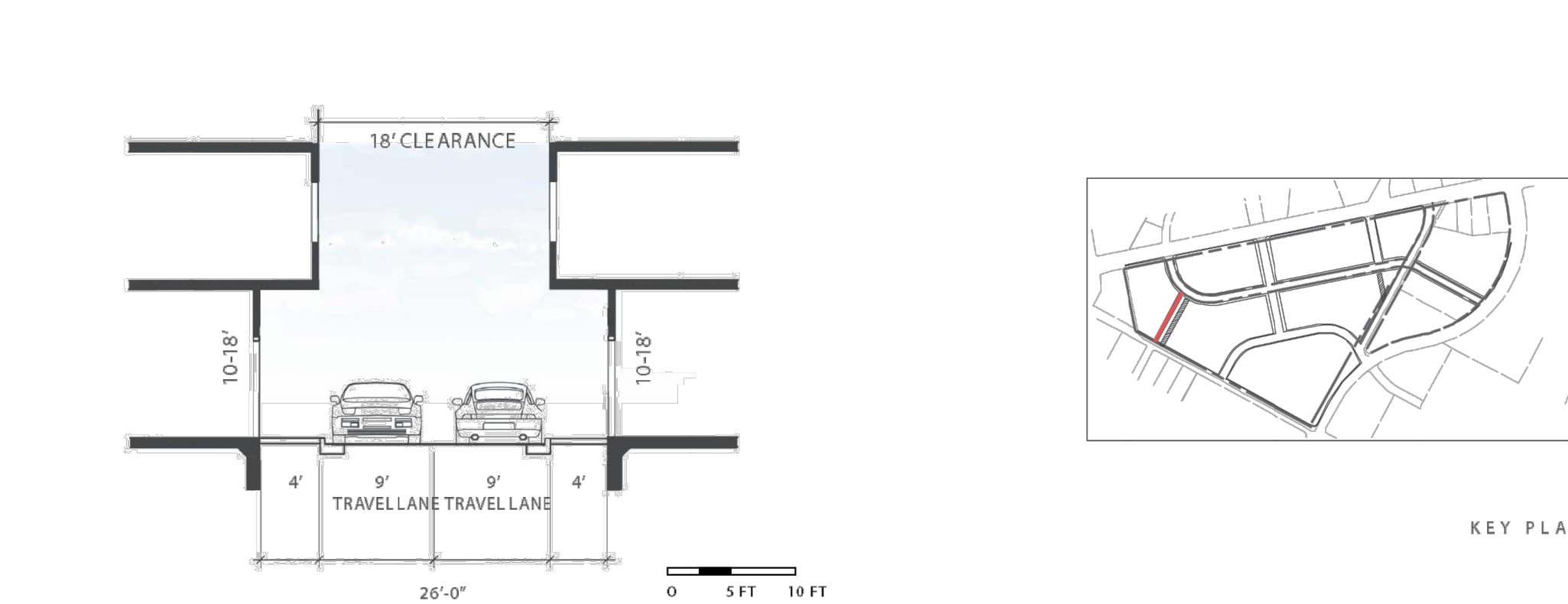
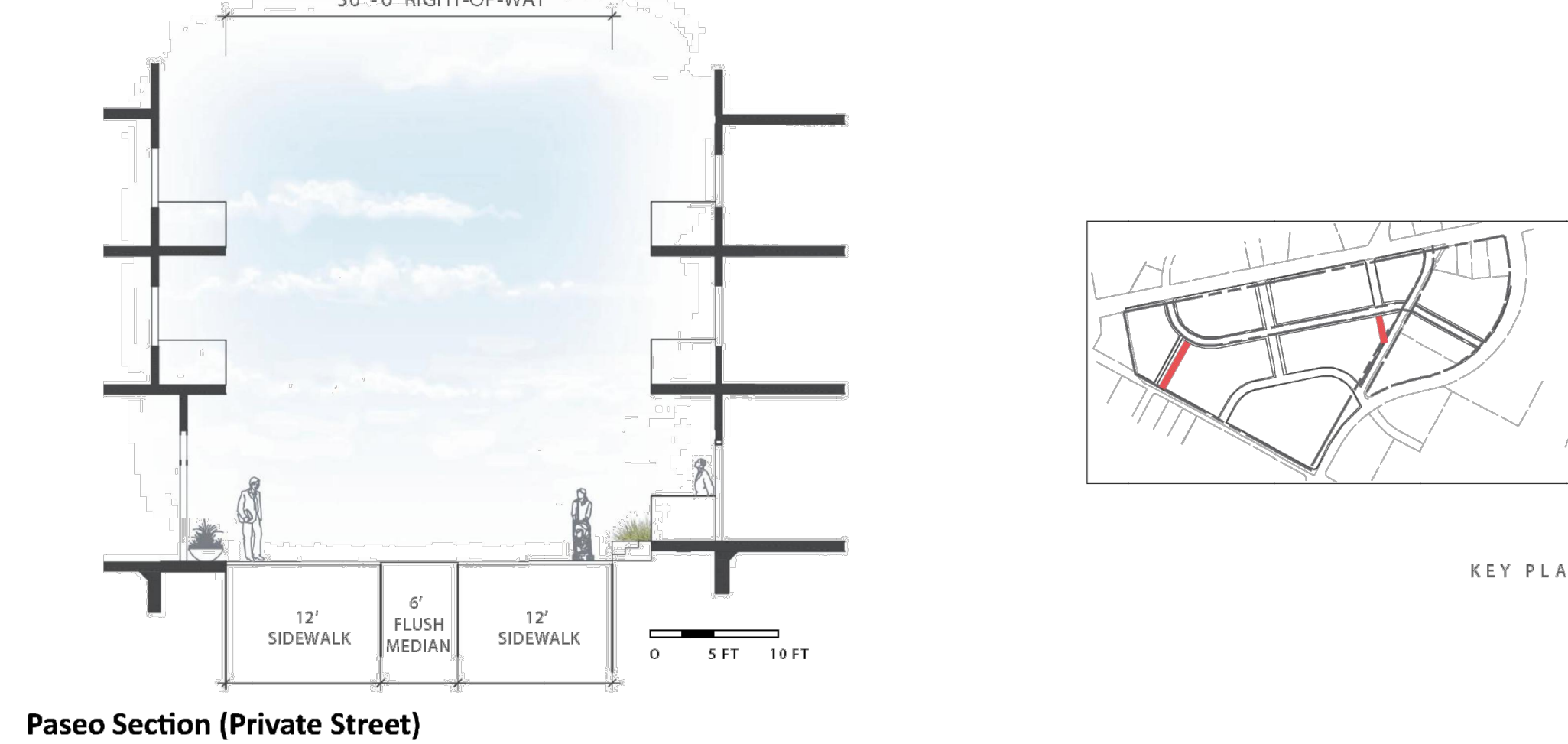
THE COMMONS  
AT HEATHERWILDE & PECAN

### D. CROSS-SECTIONS



8

### D. CROSS-SECTIONS, CONT.



9

The location of alleys are as needed.

NOTE: Depicted overhang is subject to Fire Department approval. All buildings must comply with International Building Code.

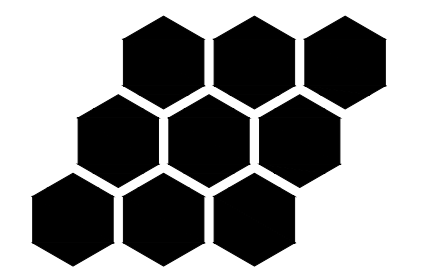
NOTE: When bulb-outs are proposed, curbs shall be mountable, roll-over curbs to provide appropriate fire access.

NO.	DATE	REVISIONS

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

THE PECAN DISTRICT -  
PRELIMINARY PLAN  
PFLUGERVILLE, TX

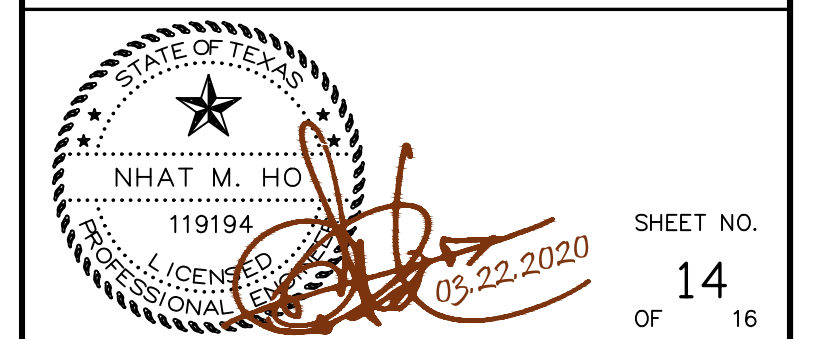
### PUD CROSS-SECTIONS



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SHEET NO.  
14  
OF 16