

## EXHIBIT A

### FAIRFIELD CROSSING PLANNED UNIT DEVELOPMENT DEVELOPMENT STANDARDS

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## EXHIBIT A

### A. GENERAL REQUIREMENTS

#### 1. Purpose and Intent

These Development Standards describe and are established for the Fairfield Crossing Planned Unit Development (the “PUD”). The project consists of 11.858 acres and is located at 21101 F.M. 685 in the City of Pflugerville, Travis County, Texas and is situated on the east side of F.M 685 and also fronts State Highway 130 (the “Property”).

The proposed project will contain a mix of uses, including approximately 370 urban-style multifamily residential units, 10 for-rent townhomes, and commercial and retail uses fronting F.M. 685 (the “Project”). The base district for the PUD will be Corridor Urban Level 4, CL4, as amended in these Development Standards and on the corresponding PUD Land Use Plan and conditions list.

See Exhibit 1 for the survey and Exhibit 2 for the location map.

#### 2. Development Plan

The Fairfield Crossing PUD will establish an urban-style, mixed-use, walkable community that will be an asset to the City of Pflugerville, see Exhibit 3 for the Land Use Plan. The Property is currently surrounded by commercial uses to the north and south, and single-family residential homes to the east. The Project’s location abutting F.M. 685/SH-130 makes it an ideal location for a dense and integrated development that is highly accessible for its residents, patrons, and guests.

The maximum proposed height for the project is 5 stories at the F.M. 685 frontage and decreases in height and intensity towards the existing single-family residential uses. The proposed maximum density is 35 dwelling units per acre. The density and height of the project will decrease from west to east, with the highest density units featured in 4 or 5-story mixed-use buildings along the highway, transitioning east to 3/4-story split residential buildings, and then further east to 2-story townhomes closest to the adjacent single-family neighborhood to the east. Between the 2-story townhomes, the proposed project would include open green space, project amenities and detention facilities to serve as a buffer zone.

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There will also be a 10-foot-wide landscaped buffer between any detention facilities and the eastern property line, which will allow for a planted buffer and a 6-foot high solid masonry fence.

The proposed project will incorporate open space in the form of multiple green spaces, a dog park, and an amenity area featuring a resort style swimming pool with gathering spaces, outdoor cooking features and multiple seating locations. Parking is proposed to be provided via built in, tuck-under garages, covered carports, and surface parking lots. Access is proposed to be taken directly from the F.M. 685/SH 130 frontage road, with a connecting drive to the adjacent northern retail development, with no vehicular access proposed through the neighborhood to the east. Access easements will be established to provide a connection between the PUD and the commercial property to the north.

The base district for the PUD will be Corridor Urban Level 4 ("CL4"), and will be amended to accommodate the project.

### **3. Architectural Design**

The Project will consist of multiple buildings designed in a contemporary style containing a variety of exterior materials that could include brick, stone or block product, and cementitious siding and panels that will be visually engaging for residents and patrons. Exhibits 4 and 5 include representative conceptual building elevations and renderings showing how these materials can be combined on the Primary Building facades to create a cohesive feel throughout the project. The building masses include vertical integration of commercial, retail or restaurant uses and resident amenities spaces at ground level locations visible from Highway 130, with entrances to those uses specifically oriented towards the commercial corridor along F.M. 685 or along the internal Main Street. The design of the buildings will feature modern architectural including common building entrances spaced through the exterior along with on-street parking, sidewalks, street trees and pedestrian streetscape elements. Residential use buildings will have common building entrances and may additionally incorporate individual stoop type unit entrances to the public sidewalk where the topography allows.

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### 4. Vehicular Circulation and Parking

Vehicular traffic will consist of resident, patron, employee, and guest's vehicle trips. The Fairfield Crossing PUD anticipates two points of entry, one from F.M. 685/SH-130, with another access point connecting to the adjacent northern parcel. The second access point is proposed along the northern boundary line that provides interior access to the retail center to the north, ultimately connecting to Gattis School Road (County Road 138). Within the Project, a main spine road or "Main Street" is planned to delineate the site into walkable blocks and sets the development apart from typical suburban type apartment complexes. The Main Street is planned to contain on-street parallel parking spaces. Main Street shall connect to private drive aisles through the PUD provide access to the structures that do not abut F.M. 685. Exhibit 6 reflects cross-sections of each street type to be utilized within the development.

Parking in the Fairfield Crossing PUD will consist of covered and uncovered surface parking areas, including tuck-under garages contained within the multifamily structures and townhome buildings, covered surface parking spaces spread throughout the Project, parallel parking spaces along the proposed Main Street, and open surface parking lots surrounding the perimeters of the structures, and along the PUD's F.M. 685/SH-130 frontage. The Parking in tuck-under garages that are integrated into primary structures will include individual overhead garage doors with accessibility from the parking courtyards. No tuck-under garages shall be accessible from the Main Street to allow consistent building architecture along Main Street. Garages located within the Townhouse Units will take access from a private drive, and will be only accessible to residents of these units. Covered parking spaces that utilize carports for shading and weather protection, will be provided primarily along the secondary streets of the development and within the parking courtyards. Carports may be metal structures with a roof material that relates to materials found on the building facades. All carports shall be designed to match the design, color, and aesthetic of the corresponding buildings within the development.

See Exhibit 7 for a Circulation Plan. Note that final driveway locations and circulation are subject to the TIA review and modifications may be required following review.



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### **5. Landscape Architecture**

The Project will provide 15% of the site as landscaped or open area, for a minimum of 1.85 acres. This project can achieve an urban style feel with a maximum impervious cover of 85% of the site area. Increased impervious cover is the result of creating an urban, pedestrian-friendly building layout, by using internal streets and enhanced pedestrian zones for increased resident walking comfort and visual appeal. Development within the PUD shall be required to mitigate additional flow generated by impervious cover on the Property. Exhibit 8 is a Conceptual Landscape Plan for the Overall Development.

### **6. Subdivision**

The Project shall be subject to the minimum subdivision requirements of the City of Pflugerville.

### **7. Consistency with Comprehensive Plan and Unified Development Code**

The Fairfield Crossing PUD is a high-quality project that is consistent with the goals and policies of the Comprehensive Plan and Unified Development Code of the City of Pflugerville. Development shall be approved in accordance with the City of Pflugerville's Unified Development Code ("UDC") CL4 zoning district regulations, except as modified in these Development Standards, the Engineering Design Manual and all other applicable codes and ordinances (unless otherwise stated with this ordinance). Where conflict between the UDC and the PUD occur, the PUD shall control. Where the PUD is silent, the UDC shall control.

As development is implemented, adjustments may be needed to implement the vision of the Project. Amendments to the PUD shall defer to the UDC for major and minor amendments, as outlined in Subchapter 4.5.3.

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### B. UNIFIED DEVELOPMENT CODE CALIBRATIONS

Development shall comply with the Corridor Urban Level 4, CL4, zoning category described in the City of Pflugerville Unified Development Code (the “UDC”) as amended, or otherwise referenced or described as follows:

#### 1. Subchapter 4.4.4 - Site Development Regulations

The Project will be developed in accordance with CL4 site development regulations as defined in the UDC, except as amended in the table below.

Site Development Regulations	Fairfield Crossing PUD
Minimum Lot Area, Width and Depth:	N/A
Minimum Front Street Setback:	15 feet
Minimum Side Street Setback:	15 feet
Minimum Interior Side Setback:	5 feet*
Minimum Rear Setback:	10 feet*
Residential Building Setback from Eastern Property Line	65 feet
Maximum Impervious Cover:	85%
Minimum Density:	10 du/ac
Maximum Density:	35 du/ac
Minimum Dwelling Unit Area:	450 square feet
Multifamily Dwelling Unit Mix:	Min. 40% 1-bed/studio; Max. 10% 3-bed

\*Abutting SF residential zoning, interior side setbacks are 10 feet, and rear setbacks are 30 feet. Water quality, detention, and open space amenity facilities are permitted within setback areas.

Height Regulations	Fairfield Crossing PUD
Minimum Height Abutting F.M. 685:	4 stories
Maximum Height of Townhomes:	35 feet or 2 stories
Maximum Height of Mixed Use Structures:	70 feet or 5 stories
Maximum Height within 125 Feet of Eastern Boundary Line:	35 feet or 2 stories
Maximum Height between 125 feet and 450 feet of the Eastern Boundary Line:	50 feet or 4 stories

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Table 4.4.4 pertaining to building height setbacks (applicable to side and rear setbacks abutting single family residential zoning) shall apply to within the PUD from the rear property line and extend until 125 feet setback from the rear property line. Table 4.4.4 pertaining to building height setbacks (applicable to side and rear setbacks abutting single family residential zoning) shall not apply beyond 125 feet setback from the rear property line. At 125 feet from the rear property line, maximum height limitations shall be regulated by the Height Regulations table above. A Building Height Limitations Exhibit is included as Exhibit 10.

If a structure includes features such as parapets, chimneys, vents, and mechanical or safety features including fire towers, stairways, elevator penthouses, heating or cooling equipment, solar installations, and protective covers; and ornamental towers, cupolas, domes, and spires that are not designed for occupancy, a structure may exceed the maximum height limitations in the PUD by the greater of:

1. 15%
2. The amount necessary to comply with a federal or state regulation; or
3. For a stack or vent, the amount necessary to comply with generally accepted engineering standards.

From the eastern boundary line the following development limitations apply:

- No structures except for those related to detention and open space amenities are permitted within 65 feet of the eastern boundary line. Detention and open space amenities are permitted within the 30-foot rear setback abutting single family zoned properties.
- The detention pond(s) will be constructed using natural stone materials or faced with natural stone to create an attractive exterior façade. These walls are permitted to have fencing mounted on top of the pond walls if required to meet state and/or federal safety requirements. For any pond walls constructed as vertical walls, all visible portions of the exterior and interior walls that face F.M. 685 shall be clad with a matching natural stone product. The exterior detention pond walls may serve as the buffer wall when adjacent to residential properties in accordance with Subchapter 11, Section 11.8.6.

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### 2. Subchapter 4.4.2 - Land Use

Permitted land uses in the PUD will comply with the CL4 zoning district per UDC Table 4.4.2, with the following uses added as permitted uses:

Multifamily

Single Family Attached (3 or more) Townhome

Prohibited land uses in the PUD will comply with the CL4 zoning district per UDC Table 4.4.2, with the following uses added as prohibited uses:

Drive-in/Thru

Gas Station

A minimum of 10,000 square feet of ground floor commercial uses are required along F.M. 685. Issuance of a final certificate of occupancy for the residential uses shall be contingent upon the approval and construction of the commercial land uses, as well as issuance of a temporary certificate of occupancy for the commercial uses. This commercial space excludes uses considered accessory to a residential use, including but not limited to: leasing office space, residential amenity areas and residential services.

### 3. Subchapter 11 - Landscaping

The Project will meet the Unified Development Code standards for landscaping, with the exception of modifications outlined by these Development Standards. Table 11.3 B of the Unified Development Code is amended as follows:

Minimum Percentage of Lot Landscaped	15%
Required Plantings:	1 tree and 4 shrubs per 300 square feet of landscaped area
Streetscape Yard (along toll/frontage):	15 feet*
Vegetative Bufferyard (adjacent to eastern boundary line):	10 feet
Maximum Turf Grass:	33% of landscaped area

\*Sidewalks, screening walls and vegetation are permitted within the F.M. 685 streetscape yard.

The landscaped area shall be dispersed in planting beds, streetscapes, yards, dog park and amenity areas and detention areas. Streetscape Yard Trees will be provided at one

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Type A or B tree per 40 linear feet or one Type C tree per 20 linear feet if overhead power lines exist.

Building foundation plantings will be one shrub per four linear feet of primary façade in a minimum of 3 foot wide bed unless retaining walls are present. Planters may be used for ground floor plantings along the ground floor commercial uses.

In parking areas, required landscaping will be one landscape island for every 12 parking spaces, excluding carport or garage parking, with end islands to be at 180 square feet minimum and parking spaces to be no further than 75 feet from a landscape area or tree.

### 4. Subchapter 9.2 – Townhome Residential Design Standards

Townhome structures within the PUD shall comply with Unified Development Code Table 9.2.3, except as modified herein. See Exhibit 4 for Conceptual Townhome Architectural Elevations and Renderings.

- A. Roof Pitch. Pitched roof designs are permitted and shall be a minimum of 5:12 pitch.

Townhome structures within the PUD shall comply with Unified development Code Table 9.2.4, except as modified herein.

- A. Garage Required (minimum). Townhome units may be frontloaded and incorporate a minimum two-car garage for each unit. The combined two-car parking spaces within the structures shall be a minimum of 18'x20' (inside dimensions).
- B. Parking Lot Frontage. Townhome units shall be permitted to front surface parking lots.
- C. Garage doors shall be allowed to make up a maximum of 40% of the townhome exterior façade and shall be designed to blend and/or complement the design and architecture of the structure.

### 5. Subchapter 9.3 – Multifamily Residential Design Standards

The PUD shall comply with Subchapter 9.3 of the Unified Development Code for multifamily and mixed-use structures except as modified herein. See Exhibit 5 for Conceptual Multifamily Architectural Elevations and Renderings.

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A) Section 9.3.3 Architectural Details. Design Elements for the PUD are as follows:

1. Flat Roof Designs will be utilized for the larger mixed use and multifamily structures and shall require parapet screening. Flat roof designs typically allow for space to accommodate future solar system placement.
2. Vertical Building Articulation will be provided by each Flat Roof Structure with no more than 75 linear (horizontally) feet without a minimum of 5' vertical offset.
3. Horizontal Building Articulation will be provided by each Flat Roof Structure with no more than 75 linear (horizontally) feet without a minimum of 5-foot horizontal offset.
4. Transparency (windows and doors). Each residential floor or portion of floor containing residential uses along a primary façade shall contain a minimum of 25% doors and windows. Each non-residential floor or portion of floor on a primary façade shall contain a minimum of 50% doors and windows.
5. Window and Door Treatment. Trim shall be provided to accent all windows and doors appropriate to style of structure.
6. Window Articulation. 25% of the primary façade windows shall include one of the following:
  - Veranda, terrace, porch or balcony (accessible for single units) minimum four (4) feet deep
  - Trellis
  - Shed roof awning
  - 20-inch projection
  - Bay window
  - Bow window
  - Transom windows
  - Arched windows
  - Gable windows
  - Oval or round windows
  - Shutters
  - Decorative stone or brick band
7. Façade Repetition. All buildings shall be designed to have distinct characteristics every 30 feet or as specified by the administrator.
8. Building Orientation. Buildings shall be oriented to place primary building facades along primary streets within the development and at least one primary

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building entrance for each structure will be located along a primary sidewalk. Mixed Use Type buildings are oriented to place the required non-residential uses facing F.M. 685. Any internal building that fronts on multiple streets shall establish a single, primary elevation along one side of the building which shall be limited to a single lane with parking along each side. Any sides fronting streets designated as secondary drives shall be allowed to face parking lots including both surface and covered parking.

9. Primary Entry Location and Building Access. Pedestrian building entrances shall be directly accessible from a public sidewalk. Multiple building entrances may be provided with some entrances accessed from parking lots or parking courtyards. Non-residential uses may have exterior building entrances to the public sidewalk and service entrances. Sidewalks shall be required along all drive aisles and measure a minimum of six (6) feet in width along F.M. 685, and four (4) feet in width along the Main Street and all other internal private drives.
10. Entry Articulation. Common building entrances shall incorporate awning or other architectural shading elements with at least a minimum of 2-foot depth or protrusion from the building facade. All ground floor entries shall be covered with a distinct architectural detail, such as a porch, portico, arcade, awning, or other similar shading element, to be measured with a minimum two (2) feet in depth and six (6) feet in width.

Subchapter 9.3.6 is amended such that the PUD shall provide a minimum of 7 amenities.

Subsection 9.3.4 Parking and Garage Requirements are replaced with the following:

- Garage Required: Multifamily uses shall provide a one, 10'x20' (inside dimensions) garage, per 10 units. Garages provided for the townhomes shall not count towards this minimum requirement.
- Garage Integration: 100% of the required garage spaces for multifamily structures shall be integrated into primary residential structures as tuck-under garages.
- Garage materials: All garages shall be designed in accordance with the surrounding architecture utilizing similar materials and colors as the facades of the residential structure they are serving.

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- Surface Parking: A minimum of 15% of surface parking spaces will additionally be covered by a carport structure or similar shading device that utilizes materials included on the structure they are serving. Separate garage structures in keeping with adjacent building architecture, may be utilized in lieu of carport structures. No carport structures will be allowed within the retail and leasing parking areas within the first 45 feet of the property line along FM 685.

### 5. Ground Floor Commercial Design Standards

1. The retail uses long F.M. 685/SH-130 shall be connected and shall not be separate pad sites to establish an urban, walkable feel.
2. The buildings along the frontage shall be linear buildings with one row of parking screened from the street. Screening requirements are represented in Exhibit 9.

Screening requirements shall be as follows:

- a. A six (6) foot sidewalk shall front F.M. 685 directly.
  - b. A minimum 3-foot solid, masonry screening wall shall be erected to separate the row of parking and vegetative bufferyard. This screening wall is permitted to be built within the vegetative bufferyard.
  - c. A minimum of 70% of the landscape bufferyard area outside the tree and shrub masses shall be planted in live groundcover, perennials or ornamental grasses.
  - d. Where feasible, plant material shall be placed between the screening wall and the sidewalk.
3. A minimum 15-foot vegetative bufferyard shall abut F.M. 685 which shall include the required sidewalk. Vegetative bufferyard requirements shall be as follows:
    - a. The vegetative bufferyard shall be planted with trees and shrubs to further screen the parking row from view of F.M. 685, at the following ratio:
      - i. One medium or large tree (Type A or B), from among the options identified in Table 11.11.3 Approved Tree List, must be planted for every 40 linear feet of street frontage when overhead utilities are absent.
      - ii. One small tree (Type C), from among the options identified in Table 11.11.3 Approved Tree List, must be planted for every 20 linear feet of street frontage when overhead utilities are present.



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4. Storefront windows or similar glazing will account for a minimum of 50% of the street-facing facades for the portion of the buildings containing retail or commercial uses.
5. The architectural theme shall be consistent throughout the development.

### 6. Subsection 10.4.6 – Parking and Parking Area Dimensions

#### A. Minimum Parking Requirements.

Development in the PUD shall comply with UDC parking requirements, Table 10.4.6. Provided, however, minimum parking requirements are modified as follows:

Use	Ratio
Multifamily	1.5 spaces per unit
Townhomes	2 spaces per unit
Ground Floor Commercial	1:250 (for first 20,000 sf) 1:500 (for 20,000 to 50,000 sf)

Required parking spaces for the townhomes shall not be counted toward the multifamily parking or garage requirements.

The Project shall provide parallel spaces along both sides of the Main Street.

#### B. Alternative Parking Plan

1. An Alternative or Shared Parking Plan utilizing the Urban Land Institute (ULI) methodology may be provided for the development by the developer if parking deviations from the PUD are proposed.
2. On-street parking on the private drive aisles within the PUD shall count towards minimum parking requirements.

### 7. Subchapter 20 – Definitions

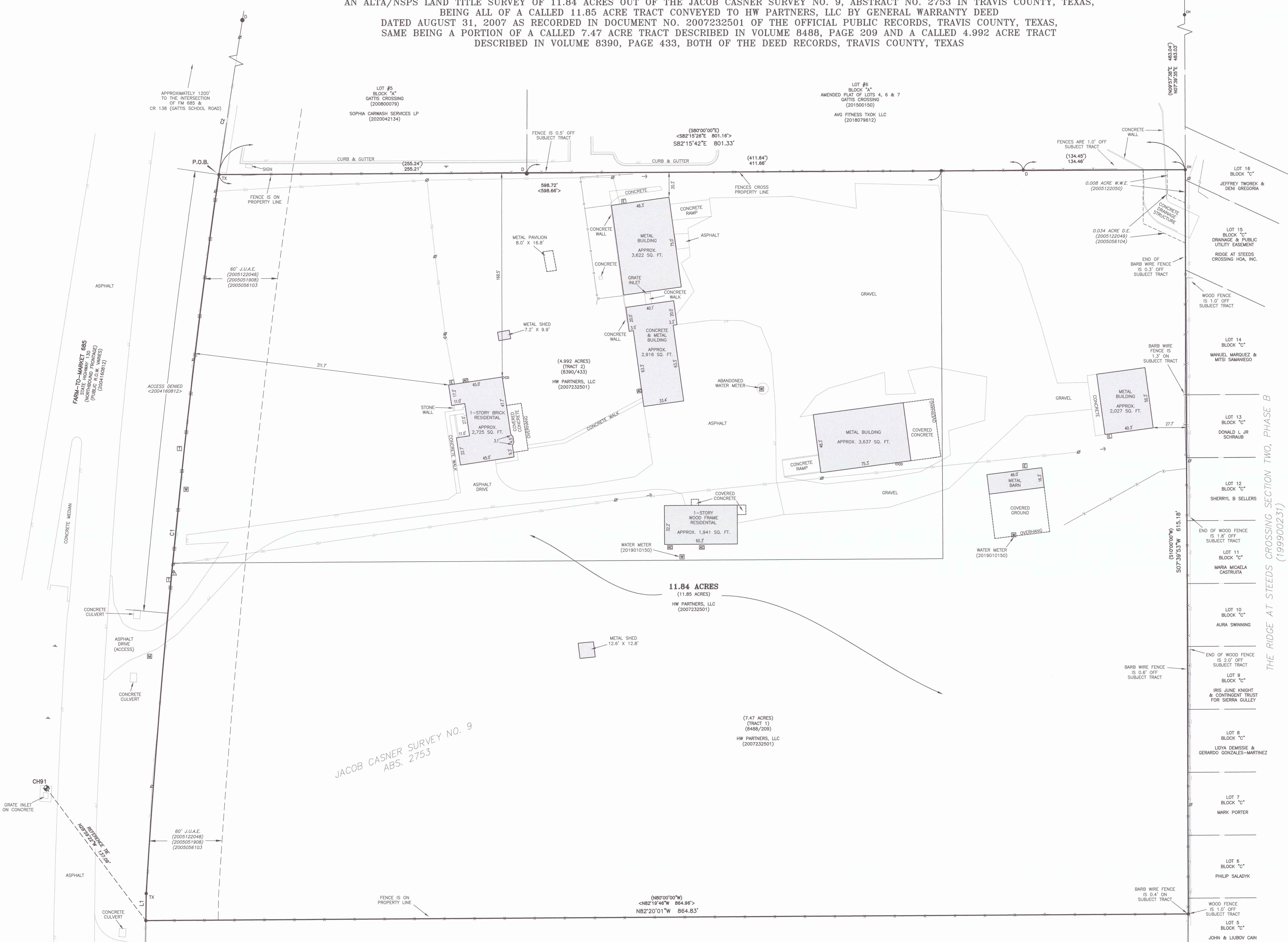
The PUD shall be subject to Subchapter 20 – Definitions, except as amended below.

**SINGLE FAMILY ATTACHED (3 OR MORE) TOWNHOMES** is a dwelling unit, having two floors, which is joined to a similar dwelling unit on one or more sides by a common party wall or abutting separate wall. A Townhouse may be known as a row house or single-family attached unit.

**MAIN STREET** is the central, private drive of the PUD that connects F.M. 685 to the rear portion of the Property, as labeled and depicted on the Land Use Plan.



AN ALTA/NSPS LAND TITLE SURVEY OF 11.84 ACRES OUT OF THE JACOB CASNER SURVEY NO. 9, ABSTRACT NO. 2753 IN TRAVIS COUNTY, TEXAS, BEING ALL OF A CALLED 11.85 ACRE TRACT CONVEYED TO HW PARTNERS, LLC BY GENERAL WARRANTY DEED DATED AUGUST 31, 2007 AS RECORDED IN DOCUMENT NO. 2007232501 OF THE OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS, SAME BEING A PORTION OF A CALLED 7.47 ACRE TRACT DESCRIBED IN VOLUME 8488, PAGE 209 AND A CALLED 4.992 ACRE TRACT DESCRIBED IN VOLUME 8390, PAGE 433, BOTH OF THE DEED RECORDS, TRAVIS COUNTY, TEXAS



**LEGEND**

- 1/2" REBAR FOUND (OR AS NOTED)
- 1/2" REBAR WITH "CHAPARRAL" CAP FOUND
- 1/2" REBAR WITH "DOUCET" CAP FOUND
- 1/2" REBAR WITH "TXDOT" CAP FOUND
- ⊕ CONTROL POINT/BENCHMARK LOCATION
- ⊕ WATER METER
- ⊕ UTILITY POLE
- GUY WIRE
- OVERHEAD UTILITIES
- ELECTRIC UTILITY
- TELEPHONE UTILITY
- UNDERGROUND TELEPHONE MARKER
- ⊕ AC PAD
- CLEANOUT
- SIGN
- MAILBOX
- EDGE OF ASPHALT PAVEMENT
- BARB WIRE FENCE
- CHAIN LINK FENCE
- WOOD FENCE
- E.E. ELECTRIC EASEMENT
- J.U.A.E. JOINT USE ACCESS EASEMENT
- W.W.E. WASTEWATER EASEMENT
- D.E. DRAINAGE EASEMENT
- ( ) RECORD INFORMATION
- < > RECORD INFORMATION PER DOCUMENT NO. 2004160812
- P.O.B. POINT OF BEGINNING
- DENIAL OF ACCESS LINE

THIS IS A SURFACE DRAWING.  
BEARING BASIS: THE TEXAS COORDINATE SYSTEM OF 1983 (NAD83), CENTRAL ZONE, BASED ON GPS SOLUTIONS FROM THE NATIONAL GEODETIC SURVEY (NGS) ON-LINE POSITIONING USER SERVICE (OPUS) FOR CHAPARRAL CONTROL POINT "CH91".  
SURFACE COORDINATES:  
N 1015598.20  
E 3163311.25  
TEXAS STATE PLANE COORDINATES:  
N 10154940.71  
E 3162948.95  
ELEVATION = 774.62'  
VERTICAL DATUM: NAVD 88 (GEOID 18)  
COMBINED SCALE FACTOR = 0.999900010 (FOR SURFACE TO GRID CONVERSION)  
INVERSE SCALE FACTOR = 1.0001000 (FOR GRID TO SURFACE CONVERSION)  
SCALED ABOUT 0.0  
THETA ANGLE: 01°25'01"

**TITLE COMMITMENT NOTE:**  
COMMENT FOR TITLE INSURANCE PREPARED BY:  
First American Title Insurance Company  
G.F. No.: 2307003T Effective Date: 10/18/21 Issued: 11/01/21  
The surveyor has relied upon the referenced Commitment for Title regarding easements, restrictions, and other matters affecting this property. No additional research was done for the purpose of this survey. Items listed are worded according to the commitment, followed by surveyor's notes and/or observations.  
Schedule "B" items contained therein and re-listed below were considered:  
1) Restrictive Covenants: Document(s) recorded in Volume 6248, Page 664 and Volume 6673, Page 555 Official Records, Travis County, Texas. — **Subject to.**  
10)  
a. 50 foot Channel Easement and incidental rights thereto, dated May 4, 1953, filed June 3, 1953, recorded in Volume 1348, Page 273 of the Official Records of Travis County, Texas. — **Not subject to.**  
f. 50 foot Right of Way Easement and incidental rights thereto, dated May 5, 1953, filed June 5, 1953, recorded in Volume 1348, Page 231 of the Official Records of Travis County, Texas. — **Not subject to.**  
g. Water Line Easement and incidental rights thereto, dated February 12, 1967, filed February 24, 1967, recorded in Volume 2412, Page 42 of the Official Records of Travis County, Texas. — **Not subject to.**  
h. Aerial Electric Distribution Line and Telephone Line Easement and incidental rights thereto, dated May 12, 1981, filed August 18, 1981, recorded in Volume 7549, Page 271 of the Official Records of Travis County, Texas. — **Not subject to.**  
i. Electric Distribution Line and Telephone Line Easement and incidental rights thereto, dated May 12, 1981, filed August 18, 1981, recorded in Volume 7549, Page 408 of the Official Records of Travis County, Texas. — **Not subject to.**  
j. Terms, conditions and stipulations contained in Development Agreement, executed by and between City of Phleguville, Texas, a local municipal corporation, and HSB Grocery Company, LP, a Texas limited partnership, dated June 23, 2005, filed July 7, 2005, recorded in Instrument No. 200512047 of the Official Records of Travis County, Texas, and dated July 22, 2005, recorded in Instrument No. 200505102 of the Official Records of Travis County, Texas, as amended by that certain First Amendment to Development Agreement executed by and between Steve Durham, Trustee and City of Phleguville, Texas, dated May 2, 2008, filed June 16, 2008, recorded in Instrument No. 2008100344 of the Official Records of Travis County, Texas. — **Subject to, not platable.**  
k. Terms, conditions and stipulations contained in Joint Access Easement Agreement, executed by and between Rio Dev. Corp., a Texas corporation, and Steve Durham, Trustee, dated July 1, 2005, filed July 7, 2005, recorded in Instrument No. 200512048 of the Official Records of Travis County, Texas, and dated July 7, 2005, recorded in Instrument No. 2005051908 of the Official Records of Travis County, Texas, and dated July 22, 2005, recorded in Instrument No. 200505104 of the Official Records of Travis County, Texas. — **Subject to, as shown.**  
l. Terms, conditions and stipulations contained in Drainage Easement Agreement, executed by and between Rio Dev. Corp., a Texas corporation, and Steve Durham, Trustee, dated July 1, 2005, filed July 7, 2005, recorded in Instrument No. 200512049 of the Official Records of Travis County, Texas, and dated July 22, 2005, recorded in Instrument No. 200505104 of the Official Records of Travis County, Texas. — **Subject to, as shown.**  
m. Wastewater Line Easement and incidental rights thereto, dated July 1, 2005, filed July 7, 2005, recorded in Instrument No. 2005122050 of the Official Records of Travis County, Texas. — **Subject to, as shown.**  
n. Water Easement and incidental rights thereto, dated January 23, 2019, filed January 4, 2019, recorded in Instrument No. 2019010150 of the Official Records of Travis County, Texas. — **Subject to. Not platable. Instrument details 15-foot wide easement centered on the installed pipeline. Surveyor has no knowledge of the pipeline and its location and its location is not shown on the map. However, said instrument is for Meter Right-of-Way and water meters shown hereon may be indicative of the approximate location of the easement.**  
**FLOOD-PLAIN NOTE:**  
The tract shown hereon lies within Zone "X" (areas determined to be outside the 0.2% annual chance floodplain), as identified by the Federal Emergency Management Agency, National Flood Insurance Program, as shown on map no. 48453002801, dated August 18, 2014, for Travis County, Texas and incorporated herein. If this site is not within an identified special flood hazard zone, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. This flood statement shall not create liability on the part of the surveyor.

**ALTA/NSPS SURVEY NOTES:**  
(Table A, Item 7a)  
Square footage of buildings, if shown, is based on the outside, ground floor footprint. Unless noted otherwise, the surveyor has not accessed the inside of the building for measurement purposes.  
**GENERAL SURVEY NOTES:**  
PROPERTY ADDRESS: 21101 FM 685, Phleguville, TX 78660  
ATTACHMENTS: Metes & Bounds description  
**SURVEYOR'S CERTIFICATE:**  
CERTIFIED TO:  
HW Partners, LLC  
First American Title Insurance Company  
This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and include items 1-4, 7a, 7b, 7c, 8, 9, 13 & 14 of Table A thereof. The field work was completed on December 9, 2021.

Paul J. Flugel  
Registered Professional Land Surveyor  
State of Texas No. 5096  
PaulJFlugelSurvey.com

**Chaparral**  
Professional Land Surveying, Inc.  
Surveying and Mapping  
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Austin, Texas 78744  
512-443-1724  
T.B.P.E.L.S. Firm No. 10124500  
PROJECT NO.: 1358-005  
DRAWING NO.: 1358-005-BASE  
WORK ORDER: 20877  
PLOT DATE: 01/06/2022  
PLOT SCALE: 1" = 30'  
DRAWN BY: PAO  
SHEET 01 OF 01

**LEGAL DESCRIPTION:**

A DESCRIPTION OF 11.84 ACRES OUT OF THE JACOB CASNER SURVEY NO. 9, ABSTRACT NO. 2753 IN TRAVIS COUNTY, TEXAS, BEING ALL OF A CALLED 11.85 ACRE TRACT CONVEYED TO HW PARTNERS, LLC BY GENERAL WARRANTY DEED DATED AUGUST 31, 2007 AS RECORDED IN DOCUMENT NO. 2007232501 OF THE OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS, SAME BEING A PORTION OF A CALLED 7.47 ACRE TRACT DESCRIBED IN VOLUME 8488, PAGE 209 AND A CALLED 4.992 ACRE TRACT DESCRIBED IN VOLUME 8390, PAGE 433, BOTH OF THE DEED RECORDS, TRAVIS COUNTY, TEXAS, SAID 11.84 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES & BOUNDS AS FOLLOWS:  
BEGINNING at a 1/2" rebar with "TXDOT" cap found in the southeast right-of-way line of Farm-to-Market 685 (FM 685), also being the northbound frontage road of State Highway 130 (a variable width public right-of-way), for the northeast corner of said called 11.85 acre tract and hereof, same being the southeast corner of Lot #6, Block "A", Gattis Crossing, a subdivision of record in Document No. 200800079, Official Public Records, Travis County, Texas, from which a 1/2" rebar with "Doucet" cap found in the southeast right-of-way line of FM 685, bears with a curve to the right, having a radius of 7339.44 feet, an arc length of 294.68 feet and a chord, which bears North 17°14'35" East a distance of 284.60 feet;  
THENCE South 82°15'42" East with the northeast line of said called 4.992 acre tract and hereof, same being the southwest line of said Lot #6 and the south line Lot #6, Block "A", Amended Plat of Lots 4, 6 and 7, Gattis Crossing, a subdivision of record in Document No. 201500150, Official Public Records, Travis County, Texas, passing of a distance of 598.72 feet to a 1/2" rebar found for the northeast corner of the called 4.992 acre tract and the most northerly northwest corner of said called 7.47 acre tract, and continuing a total of 801.33 feet to a 1/2" rebar with "Chaparral" cap found in the northeast line of Lot 16, Block "C", The Ridge at Steeds Crossing Section Two, Phase B, a subdivision of record in Document No. 199900231, Official Public Records, Travis County, Texas, for the northeast corner of the called 11.85 and 7.47 acre tracts and hereof, same being the southeast corner of said Lot #6, from which a 1/2" rebar with "Chaparral" cap found, bears North 07°39'35" East a distance of 483.03 feet;  
THENCE South 07°39'52" West with the southeast line of the called 7.47 acre tract and hereof, same being the northeast line of said called 4.992 acre tract, a distance of 864.83 feet to a 1/2" rebar found for the southeast corner of the called 11.85 and 7.47 acre tracts and hereof, same being the northeast corner of a called 4.9033 acre tract of land conveyed to Vertex Acquisition Sub LLC in Document No. 2012154648, Official Public Records, Travis County, Texas;  
THENCE North 82°20'01" West with the southwest line of the called 7.47 acre tract and hereof, same being the northeast line of said called 4.9033 acre tract, a distance of 864.83 feet to a 1/2" rebar found for the southeast corner of the called 11.85 and 7.47 acre tracts and hereof, same being the northeast corner of a called 4.9033 acre tract of land conveyed to Vertex Acquisition Sub LLC in Document No. 2012154648, Official Public Records, Travis County, Texas;  
THENCE with the southeast right-of-way line of FM 685, same being the northeast line of the 11.85 acre tract and hereof, the following two (2) courses and distances:  
1. North 08°37'46" East a distance of 22.41 feet to a 1/2" rebar with "TXDOT" cap found at a point of curvature;  
2. With a curve to the right, having a radius of 7339.44 feet, an arc length of 597.29 feet and a chord, which bears North 13°43'59" East a distance of 597.12 feet to the POINT OF BEGINNING, containing 11.84 acres of land, more or less.

Steeds Crossing Section Two, Phase B, a subdivision of record in Document No. 199900231, Official Public Records, Travis County, Texas, for the northeast corner of the called 11.85 and 7.47 acre tracts and hereof, same being the southeast corner of said Lot #6, from which a 1/2" rebar with "Chaparral" cap found, bears North 07°39'35" East a distance of 483.03 feet;  
THENCE South 07°39'52" West with the southeast line of the called 7.47 acre tract and hereof, same being the northeast line of said called 4.992 acre tract, a distance of 864.83 feet to a 1/2" rebar found for the southeast corner of the called 11.85 and 7.47 acre tracts and hereof, same being the northeast corner of a called 4.9033 acre tract of land conveyed to Vertex Acquisition Sub LLC in Document No. 2012154648, Official Public Records, Travis County, Texas;  
THENCE North 82°20'01" West with the southwest line of the called 7.47 acre tract and hereof, same being the northeast line of said called 4.9033 acre tract, a distance of 864.83 feet to a 1/2" rebar found for the southeast corner of the called 11.85 and 7.47 acre tracts and hereof, same being the northeast corner of a called 4.9033 acre tract of land conveyed to Vertex Acquisition Sub LLC in Document No. 2012154648, Official Public Records, Travis County, Texas;  
THENCE with the southeast right-of-way line of FM 685, same being the northeast line of the 11.85 acre tract and hereof, the following two (2) courses and distances:  
1. North 08°37'46" East a distance of 22.41 feet to a 1/2" rebar with "TXDOT" cap found at a point of curvature;  
2. With a curve to the right, having a radius of 7339.44 feet, an arc length of 597.29 feet and a chord, which bears North 13°43'59" East a distance of 597.12 feet to the POINT OF BEGINNING, containing 11.84 acres of land, more or less.

(4.9033 ACRES)  
VERTEX ACQUISITION SUB LLC  
(2012154648)

LINE TABLE				
LINE	BEARING	DISTANCE		
(L1)	N07°49'11"E	(22.45)		

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD DISTANCE
C1	7339.44'	4°39'46"	597.29'	N13°43'59"E	597.12'
(C1)	(7339.44')	(4°39'46")	(597.12')	(N13°43'59"E)	(597.06')
C2	7339.44'	2°18'02"	294.68'	N17°14'35"E	294.66'
(C2)	(7339.44')	(2°18'02")	(294.68')	(N17°14'35"E)	(294.66')

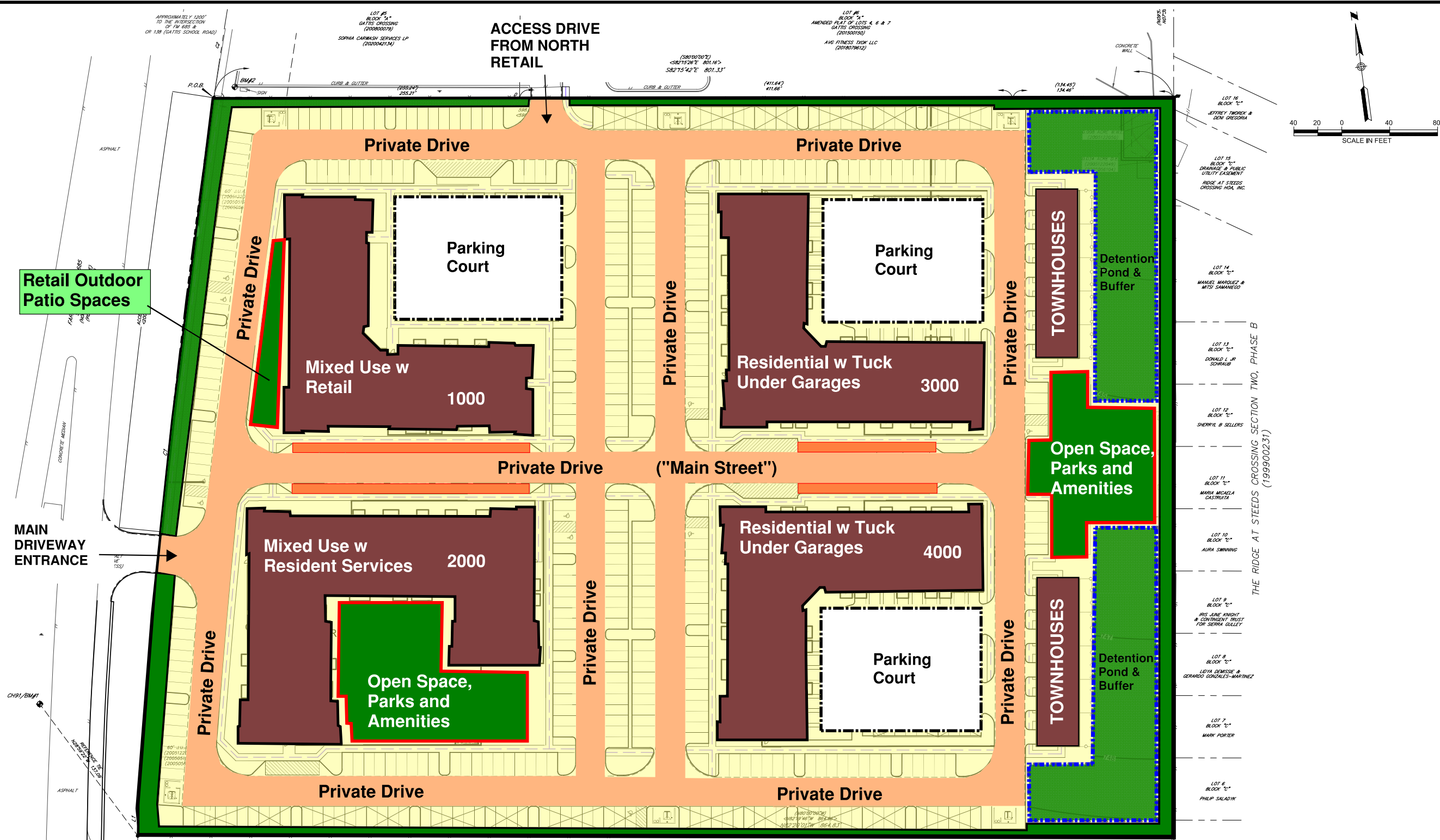


**EXHIBIT 2**  
**SITE LOCATION MAP**  
**FAIRFIELD CROSSING PUD**





#A142-048-P-BASEL.dwg  
User: jharris  
Plot Date/Time: Jun 23, 2023 - 11:57:29



**Legend**

- Denotes proposed building locations
- Areas permitting parallel parking
- Private Drives and Vehicular circulation
- Landscape Buffers
- Open Space, Parks and Amenities

**Tabulations**

Maximum Density: 35 units per acre  
(11.84 Ac x 35 = 414 Units Max.)

Minimum Retail/Commercial Requirement:  
10,000 SF

Minimum Open Space Acreage: 15% of  
Total Site (11.84 Ac x 15% = 1.77 Ac)

**Exhibit 3**

**LAND USE PLAN**

**FAIRFIELD PFLUGERVILLE**

PFLUGERVILLE, TEXAS

NO.	REVISIONS	DESCRIPTION	BY	DATE
1				

JOB NUMBER: A142-048  
DATE: 6/23/23  
DESIGNED BY: RBH  
DRAWN BY: JHK  
CHECKED BY: RBH  
DRAWING NAME: A142-048-P-BASEL.dwg

**NOT FOR CONSTRUCTION FOR REVIEW PURPOSES ONLY**

**LJA Engineering, Inc.**  
7500 Rialto Boulevard  
Building II, Suite 100  
Austin, Texas 78735  
Phone 512.438.4700  
Fax 512.438.4716  
FRNF-1386

JOB NUMBER: A142-048

SHEET NO. **1**  
OF 1 SHEETS



**PROPOSED TOWNHOME REAR ELEVATION**



**PROPOSED TOWNHOME FRONT ELEVATION**

Exhibit 4





Exhibit 5







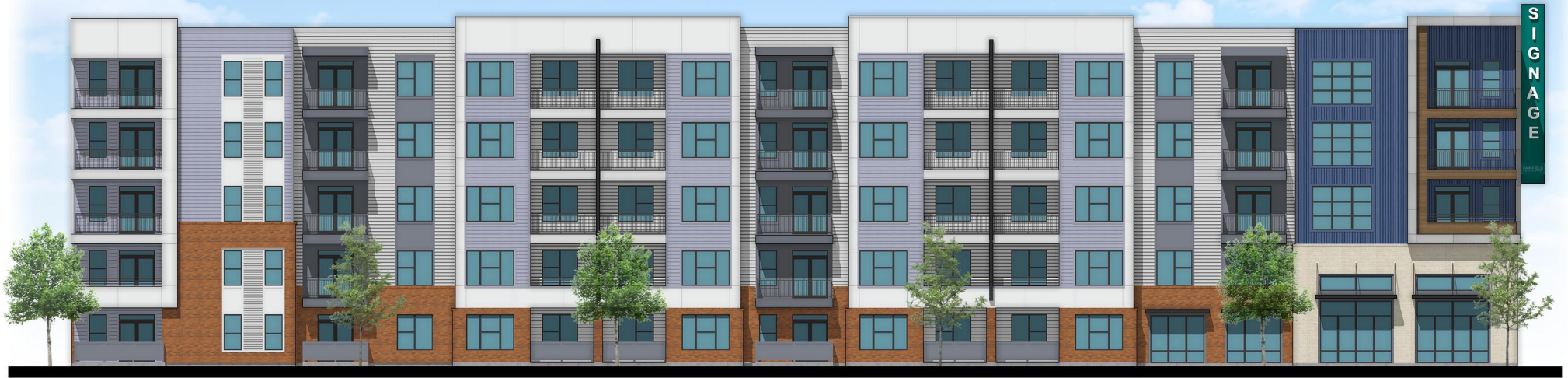


**PROPOSED BUILDING 1000 NORTH ELEVATION**



**PROPOSED BUILDING 1000 WEST ELEVATION**





**PROPOSED BUILDING 2000 EAST ELEVATION**



**PROPOSED BUILDING 2000 NORTH ELEVATION**



**PROPOSED BUILDING 4000 WEST ELEVATION**



**PROPOSED BUILDING 3000 EAST ELEVATION**



CONCEPTUAL DECORATIVE POLE LIGHTS



CONCEPTUAL STAMPED CONCRETE CROSS-WALKS



CONCEPTUAL PEDESTRIAN BENCHES



CONCEPTUAL STAMPED CONCRETE CROSS-WALKS



CONCEPTUAL TRASH RECEPTACLES



CONCEPTUAL DOG PARKS



CONCEPTUAL DOG PARKS



CONCEPTUAL THEMATIC IMAGES OF AMENITY SPACES: SUBJECT TO CHANGE



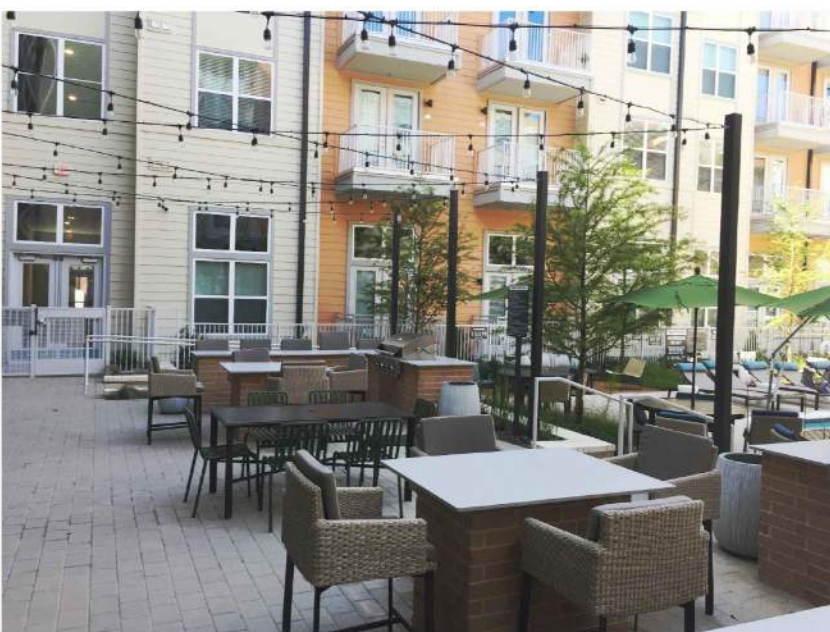
GATHERING SPACES



POOL AMENITY AREA



POOL AMENITY AREA



COMMUNAL SPACES



COMMUNAL SPACES



COMMUNAL SPACES



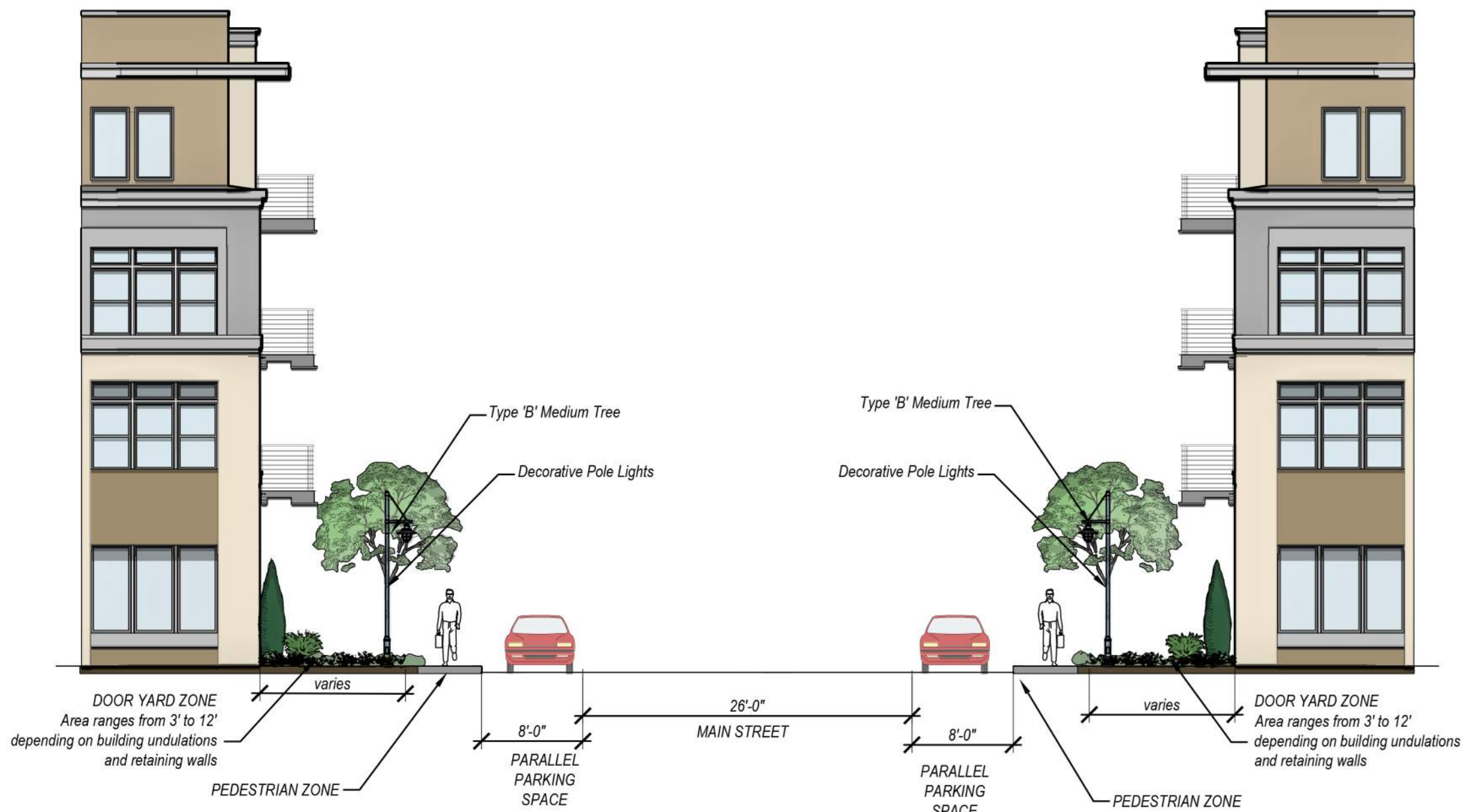
COMMUNITY GARDEN



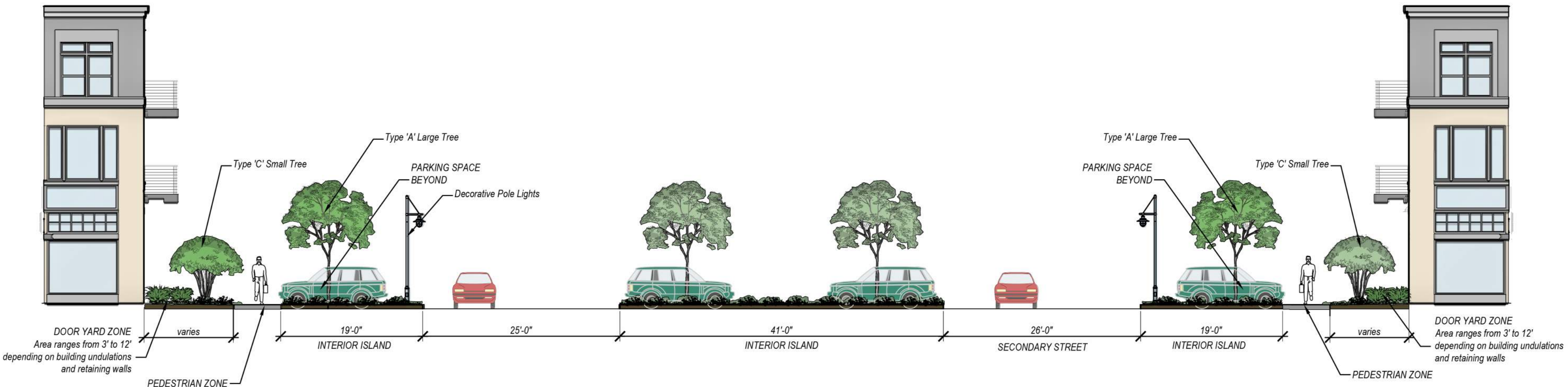
GAME AREAS



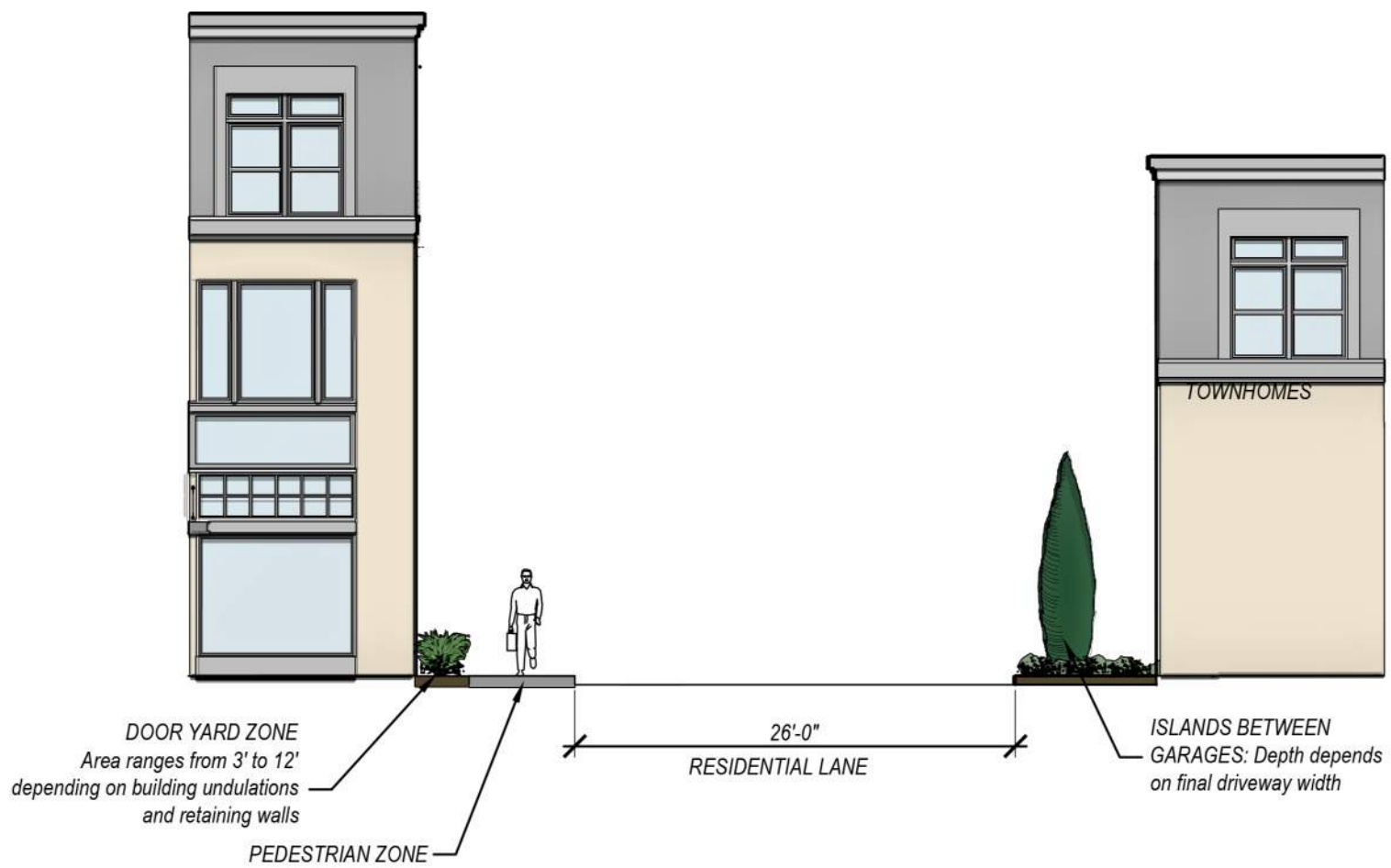
GAME AREAS



A MAIN STREET SECTION  
SCALE: 1" = 10'-0"



B SECONDARY STREET SECTION  
SCALE: 1" = 10'-0"



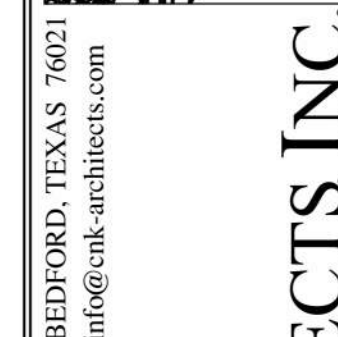
C RESIDENTIAL LANE SECTION  
SCALE: 1" = 10'-0"

Exhibit 6









CNK ARCHITECTS  
33301 W. AIRPORT FREEWAY, STE 220  
(817) 684-0088

**smr**  
landscape architects, inc.  
1708 N. Griffin Street  
Dallas, Texas 75202  
Tel 214.871.0083  
Fax 214.871.0545  
Email smr@smr-la.com

FAIRFIELD AT PFLUGERVILLE  
PFLUGERVILLE, TEXAS

Revisions:

[illegible]

Job no.:

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Issue date:

100

Sheet info:

Sheet info.

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Sheet no.

GR D 1

CP 1

## CEL.1

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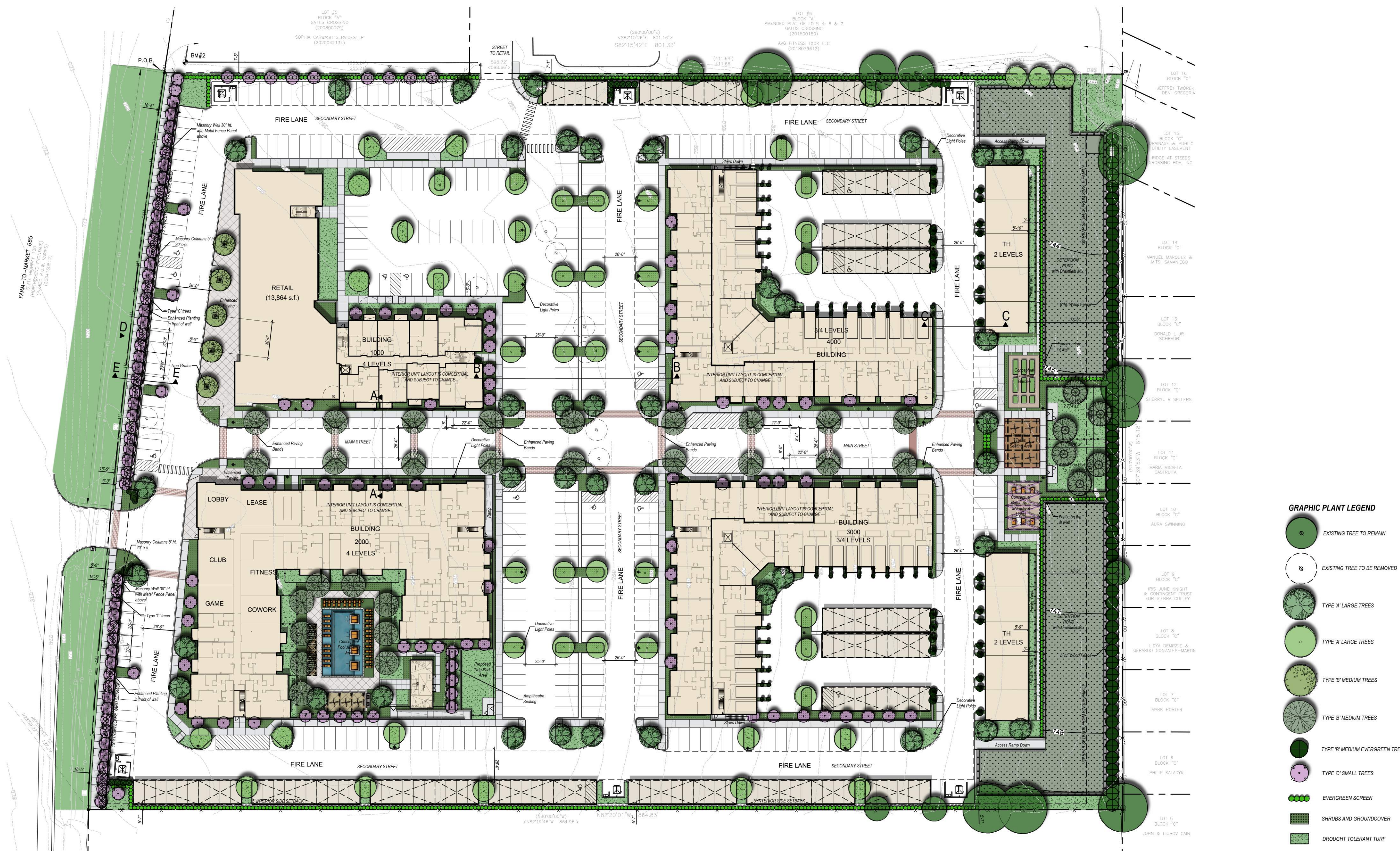
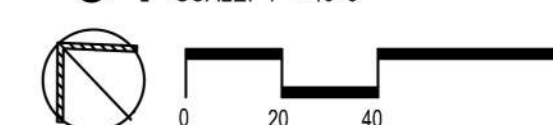
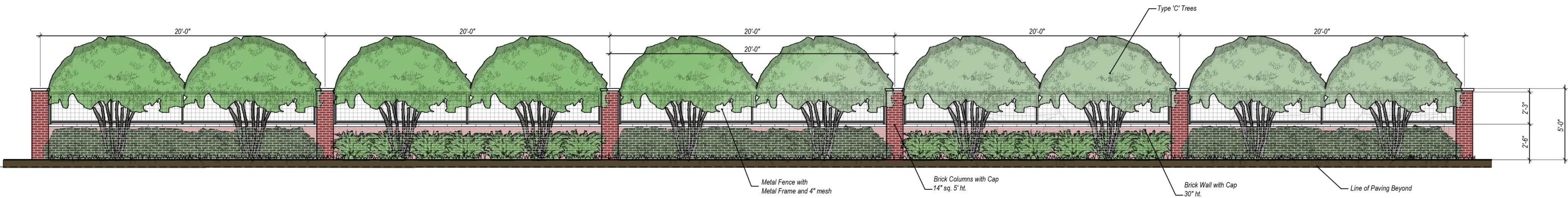


Exhibit 8

01 CONCEPT LANDSCAPE PLAN  
SCALE: 1" = 40'-0"

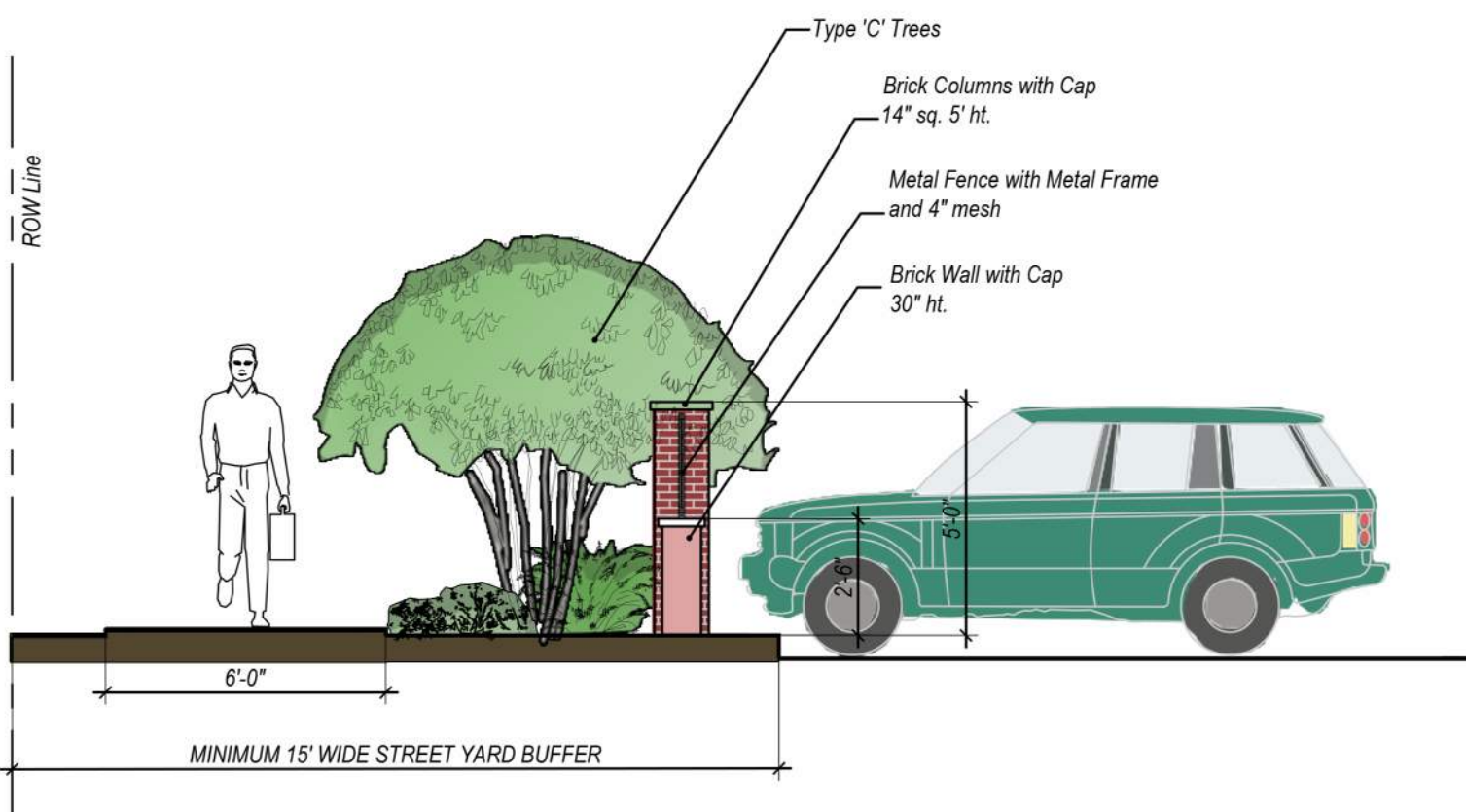






D PARKWAY ELEVATION  
SCALE: 1/4" = 1'-0"

CONCEPTUAL THEMATIC IMAGES OF PARKWAY SCREENING: SUBJECT TO CHANGE



E PARKWAY SECTION  
SCALE: 1/4" = 1'-0"





