

VILLAGE AT WELLS BRANCH SECTION 2

1305 E WELLS BRANCH PKWY
PFLUGERVILLE, TEXAS

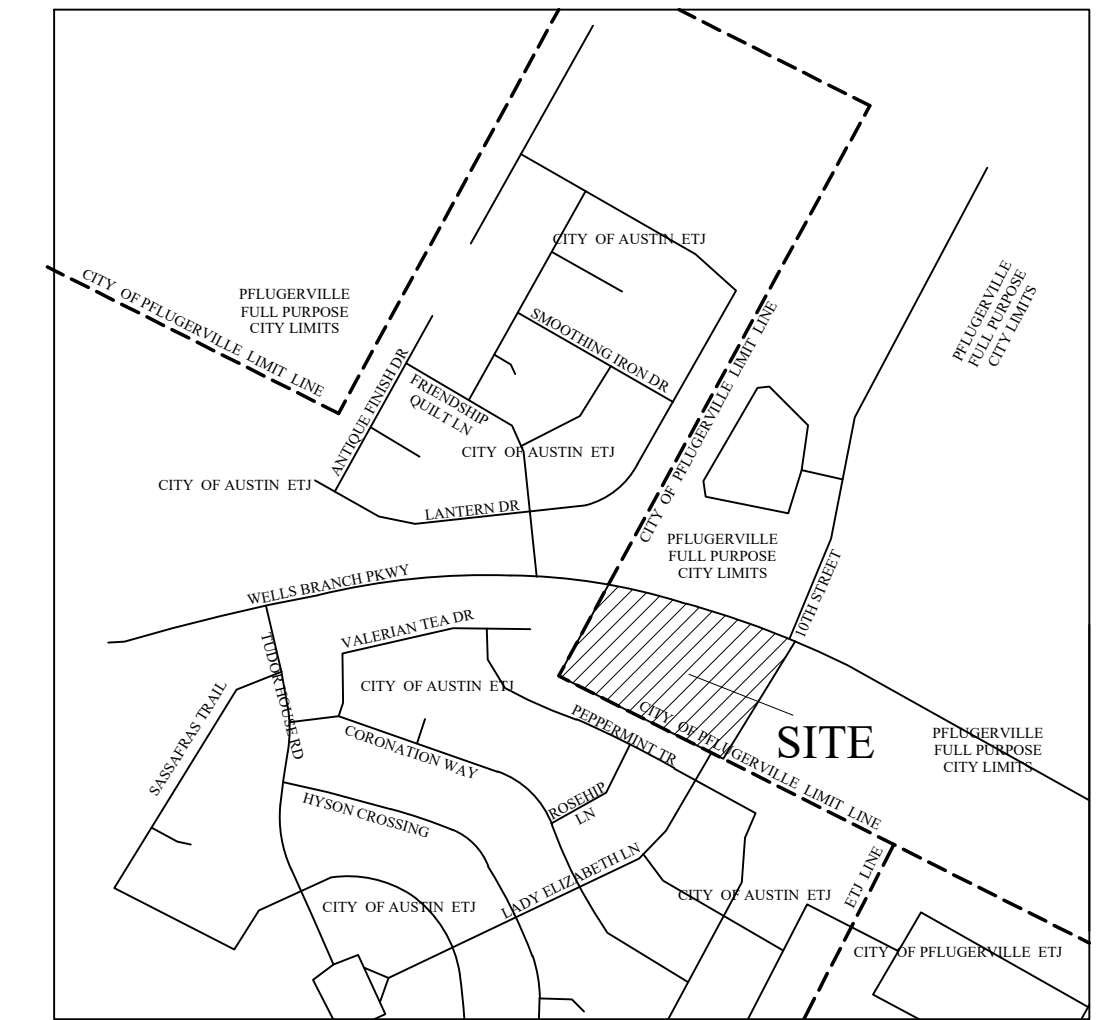
CLIENT
LEE COUNTY PETROLEUM, INC.
4125 EAST AUSTIN STREET, GIDDINGS, TEXAS 78942
(979) 542-2340

CONSULTING ENGINEERS

PROFESSIONAL StruCIVIL ENGINEERS
CONSULTING CIVIL AND STRUCTURAL ENGINEERS
2205 W. PARMER, SUITE 201, AUSTIN, TX 78727
(512) 238-6422 PSCE@PSCEINC.COM



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MIRZA TAHIR BAIG, P.E., #82577 ON 01/03/2023 FIRM REGISTRATION F-4951



SITE LOCATION MAP

PRELIMINARY PLAN NOTES:

- THIS PLAN LIES WITHIN THE CITY OF PFLUGERVILLE – GB1 ZONING.
- THE WATER AND WASTEWATER ARE PROVIDED BY THE CITY OF PFLUGERVILLE. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO WATER AND WASTEWATER FACILITIES.
- A 10-FT PUBLIC UTILITY EASEMENT (P.U.E.) SHALL BE DEDICATED ALONG ALL STREET FRONTAGE(S).
- EASEMENT(S) DEDICATED TO THE PUBLIC BY THIS PLAN SHALL ALSO BE SUBJECT TO THE TERMS AND CONDITIONS OF THE ENGINEERING DESIGN MANUAL, AS AMENDED. THE GRANTOR [PROPERTY OWNER(S)], HEIRS, SUCCESSORS AND ASSIGNS SHALL RETAIN THE OBLIGATION TO MAINTAIN THE SURFACE OF THE EASEMENT PROPERTY, INCLUDING THE OBLIGATION TO REGULARLY MOW OR CUT BACK VEGETATION AND TO KEEP THE SURFACE OF THE EASEMENT PROPERTY FREE OF LITTER, DEBRIS, AND TRASH.
- NO IMPROVEMENTS INCLUDING BUT NOT LIMITED TO STRUCTURES, FENCES, OR LANDSCAPING SHALL BE ALLOWED IN A PUBLIC EASEMENT, EXCEPT AS APPROVED BY THE CITY.
- THE PROPERTY OWNER SHALL PROVIDE ACCESS TO DRAINAGE AND UTILITY EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS FOR THE PLACEMENT, CONSTRUCTION, INSTALLATION, REPLACEMENT, REPAIR, MAINTENANCE, RELOCATION, REMOVAL, OPERATION AND INSPECTION OF SUCH DRAINAGE AND UTILITY FACILITIES, AND RELATED APPURTENANCES.
- A SIX (6) FOOT WIDE SIDEWALK ALONG LADY ELIZABETH AND A TEN (10) FOOT ALONG WELLS BRANCH PARKWAY SHALL BE REQUIRED.
- THIS SUBDIVISION IS SUBJECT TO ALL CITY OF PFLUGERVILLE ORDINANCES OR TECHNICAL MANUALS RELATED TO TREE PRESERVATION PER CITY ORDINANCE # 1203-15-02-24 AND CITY RESOLUTION # 1224-09-08-25-8A.
- THE COMMUNITY IMPACT FEE RATE FOR WATER AND WASTEWATER WILL BE ASSESSED AT THE TIME OF FINAL PLAT.
- ON-SITE STORM WATER FACILITIES SHALL BE PROVIDED TO MITIGATE POST-DEVELOPMENT PEAK RUNOFF RATES FOR THE 2 YEAR, 25 YEAR AND 100 YEAR STORM EVENTS.
- ALL ELECTRIC UTILITY INFRASTRUCTURE INCLUDING BUT NOT LIMITED TO TELEPHONE, CABLE TELEVISION, ELECTRIC UTILITY LATERAL AND SERVICE LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF PFLUGERVILLE ENGINEERING DESIGN MANUAL.
- THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF PFLUGERVILLE.
- CONSTRUCTION PLANS AND SPECIFICATIONS FOR ALL SUBDIVISION IMPROVEMENTS SHALL BE REVIEWED AND APPROVED BY THE CITY OF PFLUGERVILLE PRIOR TO ANY CONSTRUCTION WITHIN THE SUBDIVISION.
- SITE DEVELOPMENT CONSTRUCTION PLANS SHALL BE REVIEWED AND APPROVED BY THE CITY OF PFLUGERVILLE PRIOR TO ANY CONSTRUCTION.
- A PORTION OF THIS TRACT IS WITHIN A FLOOD HAZARD AREA AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP PANEL # 48453C0280J FOR TRAVIS COUNTY, EFFECTIVE AUGUST 8, 2014.
- ALL PROPOSED FENCES AND WALLS ADJACENT TO INTERSECTING PUBLIC ROADWAY RIGHT-OF-WAY OR ADJACENT TO PRIVATE ACCESS DRIVES SHALL BE IN COMPLIANCE WITH THE SIGHT DISTANCE REQUIREMENTS OF THE CITY OF PFLUGERVILLE ENGINEERING DESIGN MANUAL, AS AMENDED.
- WASTEWATER AND WATER SYSTEMS SHALL CONFORM TO TCEQ (TEXAS COMMISSION ON ENVIRONMENTAL QUALITY) AND STATE BOARD OF INSURANCE REQUIREMENTS. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR RE-PLATTING MAY BE REQUIRED AT THE OWNER'S SOLE EXPENSE IF PLANS TO DEVELOP THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.
- ALL EXISTING OVERHEAD WILL BE REQUIRED TO BE PLACED UNDERGROUND AT THE TIME OF SITE DEVELOPMENT.
- STREETLIGHTS SHALL BE INSTALLED AND IN FULL WORKING ORDER WITH THE PUBLIC IMPROVEMENTS. ALL STREETLIGHTS SHALL BE IN CONFORMANCE WITH ALL CITY OF PFLUGERVILLE ORDINANCES INCLUDING BUT NOT LIMITED TO BEING DOWNCAST AND FULL CUT OFF TYPE.
- THE LADY ELIZABETH'S LANE SHALL BE BUILT BY THIS DEVELOPMENT, AND A SEPARATE PUBLIC INFRASTRUCTURE SUBDIVISION CONSTRUCTION PLAN SHALL BE SUBMITTED FOR THE CITY OF PFLUGERVILLE APPROVAL.

SUBMITTAL DATE: JULY 17, 2018
PROJECT TITLE: VILLAGE OF WELLS BRANCH SECTION 2
STREET ADDRESS: 1305 EAST WELLS BRANCH PARKWAY, PFLUGERVILLE, TEXAS 78660
PROPERTY OWNER: 1305 WELLS BRANCH, LP
110 SAN ANTONIO STREET, SUITE 1706, AUSTIN, TX 78701
CONTACT: TAYLOR WILSON, (512) 968-6141
DESIGN COMPANY: PROFESSIONAL STRUCIVIL ENGINEERS
2205 W. PARMER LN., SUITE 201, AUSTIN, TX 78727
CONTACT: MIRZA TAHIR BAIG P.E. (512) 238-6422
SURVEYOR: ALL STAR LAND SURVEYORS, 9020 ANDERSON MILL ROAD, AUSTIN, TEXAS 78729
512-249-8149
NAME OF WATERSHED: WILLBARGER CREEK – COLORADO RIVER
100-YEAR FLOOD PLAIN: THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEARS FLOOD PLAN AS (ZONE "X") SHOWN ON THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD BOUNDARY MAP, PANEL NO. 48453C0270J, AUGUST 1, 2014.
LEGAL DESCRIPTION: BEING 6.31 ACRES OF LAND OUT OF THE ALEXANDER WALTERS SURVEY NUMBER 67, TRAVIS COUNTY, TEXAS, AND BEING A PORTION OF THAT 35.159 ACRES OF LAND GRANTED TO 1305 WELLS BRANCH LP IN SPECIAL WARRANTY DEED RECORDED IN DOCUMENT NUMBER 2020030783, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.
RECHARGE ZONE: THIS SITE IS NOT LOCATED IN THE EDWARDS AQUIFER RECHARGE ZONE.
RELATED CASES:
RELATED REPORTS & STUDIES: 1) ENGINEER'S REPORT AND HYDROLOGY ANALYSIS, PSCE, INC. DATED 04/04/2022
2) TRAFFIC IMPACT ANALYSIS, TRAFFIC IMPACT GROUP, LLC, DATED 04/X/2022
ZONING: GENERAL BUSINESS (GB1) – FULL CITY OF PFLUGERVILLE JURISDICTION

BENCHMARK	TYPE USED	ELEVATION	NORTHING	EASTING
#1	"X" FOUND	762.62 FT.	10130123.907	3146282.935
#2	SQUARE FOUND	747.33 FT.	10129968.057	3146949.570

BEARING BASIS:
BEARINGS ARE GRID NORTH BASED ON THE TEXAS COORDINATE SYSTEM
CENTRAL TEXAS ZONE (4203) NAD83 HARN HORIZONTAL CONTROL.

LOT INFORMATION

TOTAL LOTS PROPOSED:	4
TOTAL ACREAGE:	6.31 ACRES
LOT	SIZE USE
3A	1.56 ACRES COMMERCIAL
3B	1.51 ACRES COMMERCIAL
3C	1.13 ACRES COMMERCIAL
3D	1.45 ACRES DRAINAGE-STORM WATER FACILITIES
ROW	0.66 ACRES ROW
ZONING	GB1 – GENERAL BUSINESS

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF PFLUGERVILLE MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

UTILITY NOTES

1) WASTEWATER SERVICE BY THE CITY OF PFLUGERVILLE. FOR SERVICE CONTACT:
CITY OF PFLUGERVILLE
PO BOX 589, PFLUGERVILLE, TEXAS 78691
TEL: (512) 990-6400

2) WATER SERVICE BY THE CITY OF PFLUGERVILLE. FOR SERVICE CONTACT:
CITY OF PFLUGERVILLE
PO BOX 589, PFLUGERVILLE, TEXAS 78691
(512) 990-6400

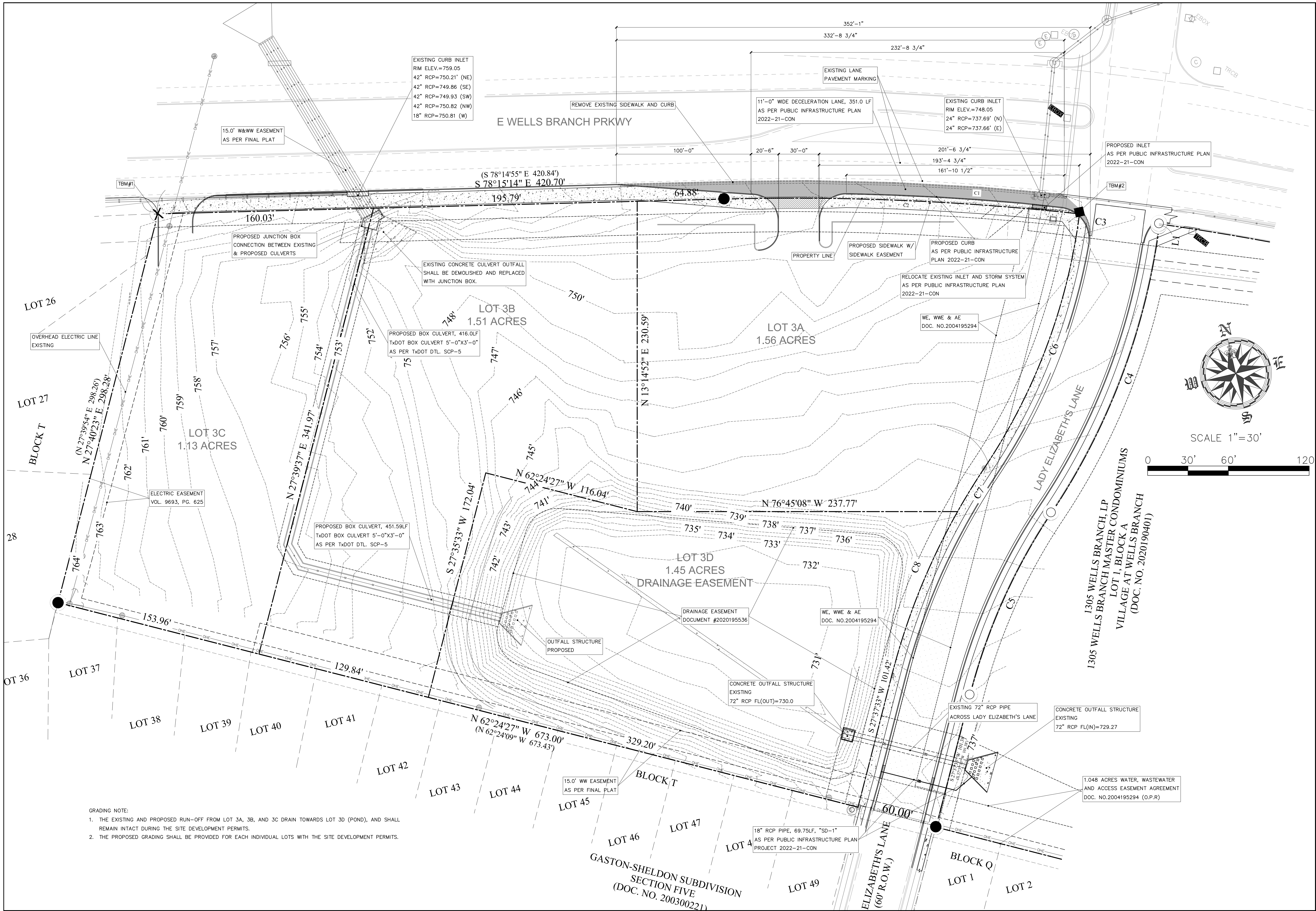
3) ELECTRIC SERVICE BY ONCOR. FOR SERVICE CONTACT:
1616 WOODALL ROGERS FWY., #2M 012 DALLAS, TX 75202
(888) 875-6279

4) GAS SERVICE BY ATMOS ENERGY. FOR SERVICE CONTACT:
ATMOS ENERGY
P.O. BOX 650205, DALLAS, TX 75265
(888) 286-6700

REVISIONS / CORRECTIONS

NO.	DESCRIPTION	REVISE (R) ADD (A) VOID (V) SHEET NOS.	TOTAL NO OF SHEETS IN PLAN SET	CITY OF PFLUGERVILLE APPROVAL / DATE	DESIGN ENGINEER SIGNATURE

2022-3-PP
PRELIMINARY PLAN REVIEW NUMBER



GRADING NOTE:

1. THE EXISTING AND PROPOSED RUN-OFF FROM LOT 3A, 3B, AND 3C DRAIN TOWARDS LOT 3D (POND), AND SHALL REMAIN INTACT DURING THE SITE DEVELOPMENT PERMITS.
2. THE PROPOSED GRADING SHALL BE PROVIDED FOR EACH INDIVIDUAL LOTS WITH THE SITE DEVELOPMENT PERMITS.

EXISTING CURB INLET
RIM ELEV.=759.05
42" RCP=750.21' (NE)
42" RCP=749.86 (SE)
42" RCP=749.93 (SW)
42" RCP=750.82 (NW)
18" RCP=750.81 (W)

EXISTING LANE
PAVEMENT MARKING

EXISTING CURB INLET
RIM ELEV.=748.05
24" RCP=737.69' (N)
24" RCP=737.66' (E)

PROPOSED INLET
AS PER PUBLIC INFRASTRUCTURE PLAN
2022-21-CON

PROPOSED BOX CULVERT, 416.0LF
TxDOT BOX CULVERT 5'-0"x3'-0"
AS PER TxDOT DTL. SCP-5

PROPOSED BOX CULVERT, 451.59LF
TxDOT BOX CULVERT 5'-0"x3'-0"
AS PER TxDOT DTL. SCP-5

DRAINAGE EASEMENT
DOCUMENT #2020195536

WE, WVE & AE
DOC. NO.2004195294

CONCRETE OUTFALL STRUCTURE
EXISTING
72" RCP FL(OUT)=730.0

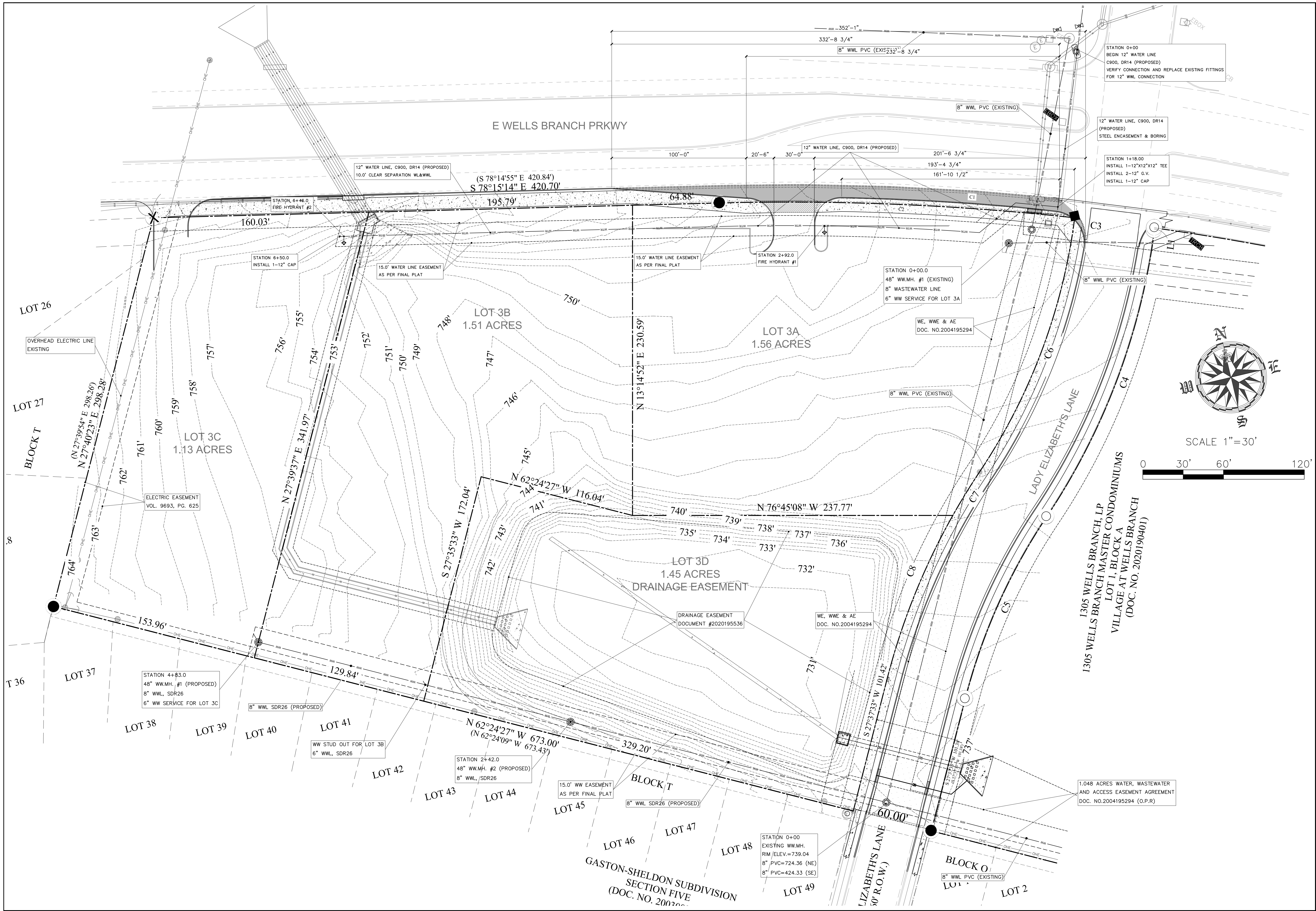
EXISTING 72" RCP PIPE
ACROSS LADY ELIZABETH'S LANE

CONCRETE OUTFALL STRUCTURE
EXISTING
72" RCP FL(IN)=729.27

1.048 ACRES WATER, WASTEWATER
AND ACCESS EASEMENT AGREEMENT
DOC. NO.2004195294 (O.P.R)

18" RCP PIPE, 69.75LF, "SD-1"
AS PER PUBLIC INFRASTRUCTURE PLAN
PROJECT 2022-21-CON

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MIRZA TAHR BAIG, P.E., #82577 ON 1/14/2022 FIRM REGISTRATION F-4951																																																	
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PROFESSIONAL STRUCTURAL ENGINEERS, INC. CONSULTING CIVIL AND STRUCTURAL ENGINEERS 2205 WEST PARKER LANE, SUITE 210, AUSTIN, TX 78721 TEL: 512.238.6422 POC@psinc.com																																																	
Project: VILLAGE AT WELLS BRANCH SECTION 2 1305 E WELLS BRANCH PRKWAY CITY OF PLEUGERVILLE, TEXAS																																																	
Title: EXISTING CONDITIONS & PROPOSED GRADING PLAN																																																	
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STATION 0+00
BEGIN 12" WATER LINE
C900, DR14 (PROPOSED)
VERIFY CONNECTION AND REPLACE EXISTING FITTINGS
FOR 12" WWL CONNECTION

12" WATER LINE, C900, DR14
(PROPOSED)
STEEL ENCASUREMENT & BORING

STATION 1+18.00
INSTALL 1-12"x12"x12" TEE
INSTALL 2-12" G.V.
INSTALL 1-12" CAP

Rev.	Description	Date	Drawn
6			
5			
4	ISSUED FOR APPROVAL	11/14/22	
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2	ISSUED FOR APPROVAL	04/27/22	
1	ISSUED FOR APPROVAL	04/05/22	
0	ISSUED FOR APPROVAL		

P	E	P	E	P	E	P	E
P	E	P	E	P	E	P	E


PROFESSIONAL STRUCTURAL ENGINEERS, INC.
CONSULTING CIVIL AND STRUCTURAL ENGINEERS
2205 WEST PARKER LANE, SUITE 210, AUSTIN, TX 78721 | TEL: 512.238.6422 | PEO@psominc.com

VILLAGE AT WELLS BRANCH SECTION 2
1305 E WELLS BRANCH PRKWAY
CITY OF PLEUGERVILLE, TEXAS

WATER & WASTEWATER UTILITY PLAN

PROJECT	30717	P	E
SHEET	4	P	E
OF	10	P	E


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MIRZA TAHIR BAIG
PROFESSIONAL ENGINEER
LICENSE NO. 82577
STATE OF TEXAS

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MIRZA TAHIR BAIG, P.E., #82577 ON 11/14/2022
FIRM REGISTRATION F-4951

NO.	REVISION	DATE	DESCRIPTION
6			
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1	ISSUED FOR APPROVAL	04/27/22	
0	ISSUED FOR APPROVAL	04/05/22	



MARK A. RAMSOUR
PROFESSIONAL ENGINEER
LICENSE NO. 111220
STATE OF TEXAS

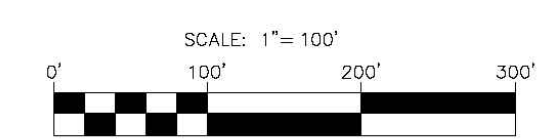
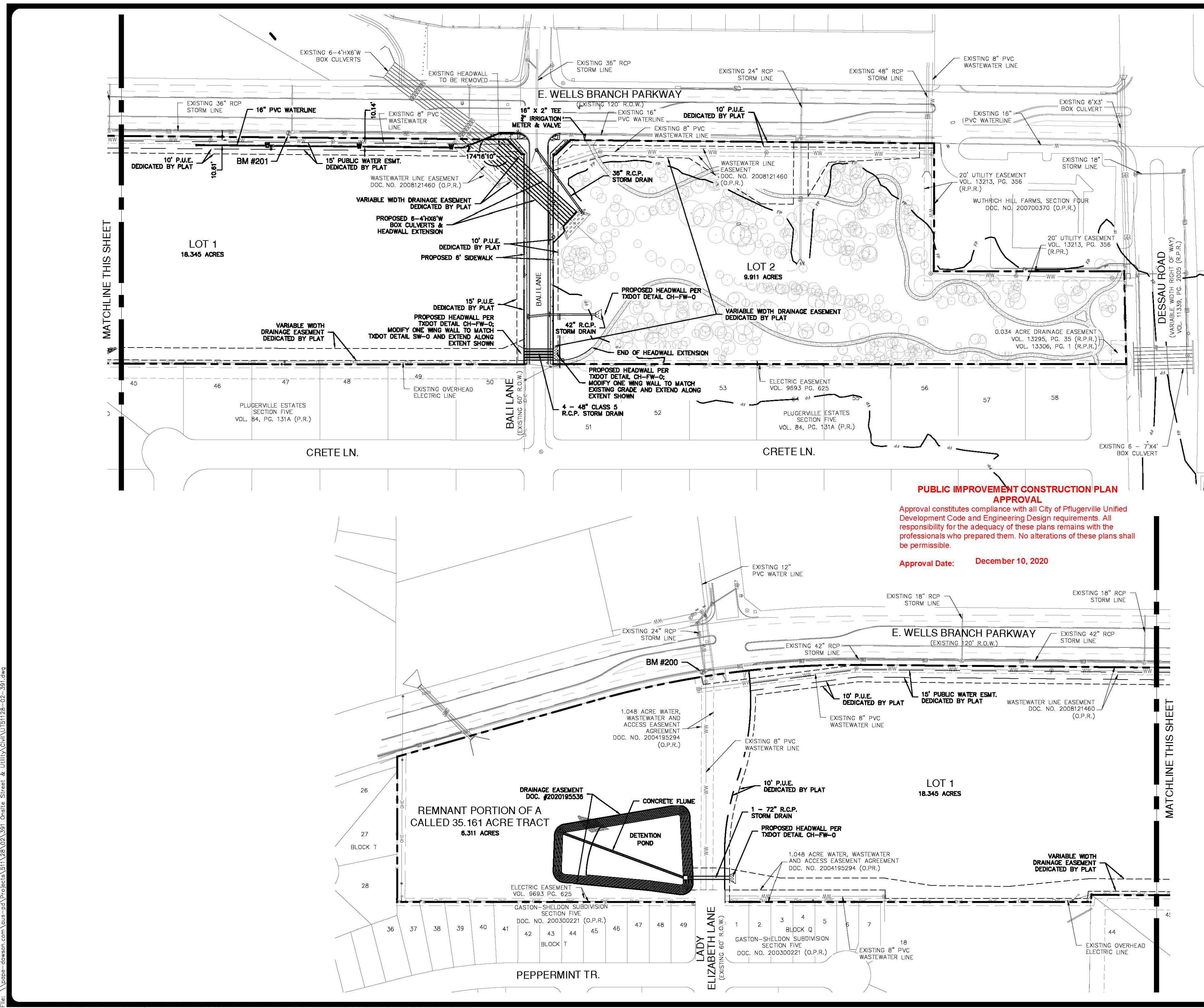


PAPE-DAWSON ENGINEERS
AUSTIN | SAN ANTONIO | HOUSTON | FORT WORTH | DALLAS
1001 N. MOPAC EXPY., SUITE 300 | AUSTIN, TX 78701 | 512.238.6422 | pape@papeinc.com
TEXAS FIRM REGISTRATION #102821

PROFESSIONAL STRUCTURAL ENGINEERS, INC.
CONSULTING CIVIL AND STRUCTURAL ENGINEERS
2205 WEST PARKER LANE, SUITE 410, AUSTIN, TX 78721 | TEL: 512.238.6422 | pape@papeinc.com
TEXAS FIRM REGISTRATION #102821

VILLAGE AT WELLS BRANCH SECTION 2
1305 E WELLS BRANCH PKWY
CITY OF PFLUGERVILLE, TEXAS

OVERALL UTILITY PLAN



- LEGEND**
- PROPERTY BOUNDARY
 - WATER LINE
 - STORM DRAIN LINE & MH
 - CURB INLET
 - EXISTING WATER LINE
 - EXISTING WASTEWATER LINE
 - EXISTING STORM DRAIN LINE
 - EXISTING CONTOUR LINE
 - PROPOSED CONTOUR LINE
 - 100-YR FLOODPLAIN (PROPOSED CONDITIONS WITH ATLAS 14 FLOWS)
 - EXISTING FENCE
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING WATER VALVE
 - EXISTING STORM MANHOLE
 - EXISTING WASTEWATER MANHOLE
 - EXISTING COMM BOX
 - EXISTING LIGHT POST
 - EXISTING SIGN
 - EXISTING UTILITY POLE
 - MONUMENT POINT
 - EXISTING ELECTRIC BOX
 - TREE TO REMAIN
 - 8" CONCRETE HIKING TRAIL
 - SEE DETAIL SHEET 26

BENCHMARKS:

BM #200: CUT SQUARE ON SOUTHWEST CORNER OF CURB INLET
ELEVATION 748.28
GRID E 3147234.2261
GRID N 10131000.2186

BM #201: CUT SQUARE ON SOUTHWEST CORNER OF CURB INLET
ELEVATION 714.48
GRID E 3148372.3289
GRID N 10130421.8568

- NOTES:**
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE ASSOCIATED WITH THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - PIPE MATERIAL FOR WATER MAINS SHALL BE PVC (AWWA C-900, MIN CLASS 150), OR DUCTILE IRON (AWWA C-900, MIN 150). WATER SERVICES (2" OR LESS) SHALL BE POLYETHYLENE TUBING (200 PS, DR9).
 - WATER LINES SHALL HAVE A MINIMUM FORTY-EIGHT (48) INCHES OF COVER MEASURED FROM EITHER THE TOP OF THE PIPE OR VALVE ACTUATING NUT (WHICHEVER IS APPLICABLE) TO THE FINISHED GROUND SURFACE. WASTEWATER LINES SHALL HAVE A MINIMUM OF 48 INCHES OF COVER BELOW THE ACTUAL SUBGRADE. THE SEPARATION BETWEEN WASTEWATER MAINS AND OTHER UTILITIES SHALL BE IN ACCORDANCE WITH THE RULES ADOPTED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY.
 - WHERE A WATER OR WASTEWATER LINE CROSSES BELOW A STORM SEWER STRUCTURE AND THE TOP OF THE PIPE IS WITHIN 18" OF THE BOTTOM OF THE UTILITY STRUCTURE, THE PIPE SHALL BE ENCASED WITH CONCRETE FOR A DISTANCE OF AT LEAST 1' ON EITHER SIDE OF THE DITCH LINE OF THE UTILITY STRUCTURE OR THE STORM SEWER. CONCRETE ENCASEMENT WILL NOT BE REQUIRED FOR DUCTILE IRON PIPE WITH SIZES LARGER THAN 12" CONCRETE ENCASEMENT SHALL CONFORM TO THE CITY OF PFLUGERVILLE STANDARD DETAIL.
 - ALL PIPE BEDDING MATERIAL SHALL CONFORM TO THE CITY OF PFLUGERVILLE STANDARD DETAIL.
 - ALL FIRE HYDRANT LEADS SHALL BE DUCTILE IRON PIPE (AWWA C-100, MIN. CLASS 150).
 - ALL IRON PIPE AND FITTINGS SHALL BE WRAPPED WITH A MINIMUM 8-MIL POLYETHYLENE FILM PRIOR TO PLACING CONCRETE.
 - THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR TO COORDINATE UTILITY TRENCHES AND NOTIFY HIM AT LEAST 48 HOURS PRIOR TO CONNECTION TO EXISTING LINES.
 - THE CONTRACTOR SHALL COORDINATE TESTING WITH THE CITY OF PFLUGERVILLE AND PROVIDE NO LESS THAN 24 HOURS NOTICE PRIOR TO PERFORMING STERILIZATION, QUALITY TESTING OR PRESSURE TESTING.
 - THE CONTRACTOR SHALL NOT OPEN OR CLOSE ANY VALVES UNLESS AUTHORIZED BY THE CITY OF PFLUGERVILLE.
 - ALL VALVE BOXES AND COVERS SHALL BE CAST IRON.
 - A DOUBLE CHECK BACKFLOW DEVICE IN A VALVE SHALL BE INSTALLED ADJACENT THE RIGHT OF WAY OR PUBLIC EASEMENT ON PRIVATE PROPERTY ON ALL PRIVATE FIRE LINES.
 - ALL WATER SERVICE, WASTEWATER SERVICE AND VALVE LOCATIONS SHALL BE APPROPRIATELY MARKED AS FOLLOWS:
WATER SERVICE "W" ON TOP OF CURB
WASTEWATER SERVICE "S" ON TOP OF CURB
VALVE "V" ON FACE OF CURB
 - THE CONTRACTOR IS HEREBY NOTIFIED THAT CONNECTING TO, SHUTTING DOWN, OR TERMINATING EXISTING UTILITY LINES MAY OCCUR OFF-PEAK HOURS. SUCH HOURS ARE USUALLY OUTSIDE NORMAL WORKING HOURS AND POSSIBLY BETWEEN 12 A.M. AND 8 A.M.
 - ALL FIRE HYDRANTS SHALL BE NATIONAL STANDARD HOSE THREAD.
 - ALL MATERIAL TESTS, INCLUDING SOIL DENSITY TESTS AND RELATED SOIL ANALYSIS, SHALL BE ACCOMPLISHED BY AN INDEPENDENT LABORATORY FUNDED BY THE DEVELOPER IN ACCORDANCE WITH THE SPECIFICATIONS.
 - WATER AND WASTEWATER SERVICE SHALL BE PROVIDED BY THE CITY OF PFLUGERVILLE.
 - ALL PROPOSED METERS MUST HAVE A READER FOR THE PUBLIC WORKS DEPARTMENT.

PUBLIC IMPROVEMENT CONSTRUCTION PLAN APPROVAL

Approval constitutes compliance with all City of Pflugerville Unified Development Code and Engineering Design requirements. All responsibility for the adequacy of these plans remains with the professionals who prepared them. No alterations of these plans shall be permissible.

Approval Date: December 10, 2020

VILLAGE AT WELLS BRANCH PUBLIC INFRASTRUCTURE PHASE 1 PFLUGERVILLE, TEXAS OVERALL UTILITY PLAN

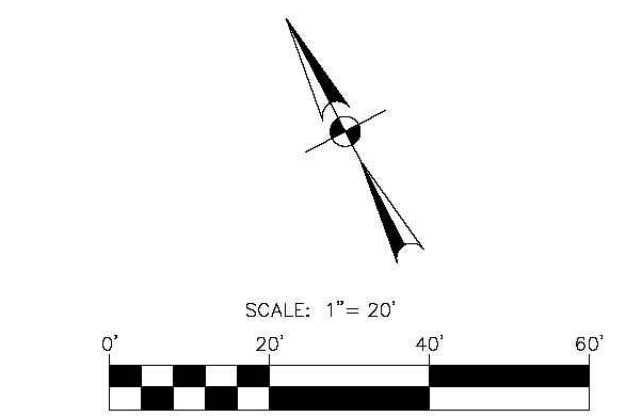
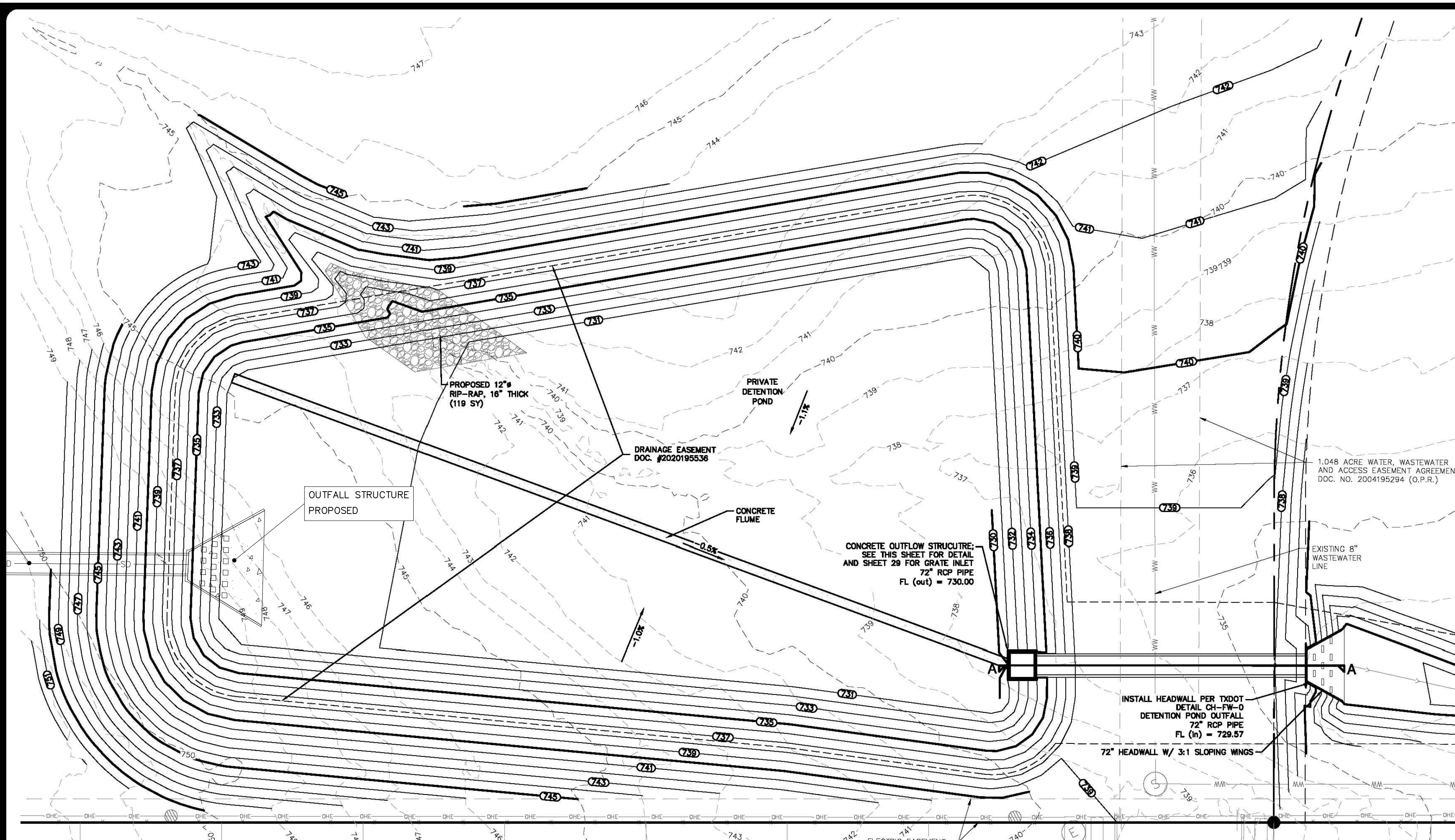
JOB NO. 51128-02
DATE: AUGUST 2020
DESIGNER: TR
CHECKED BY: DRAWN: KT
SHEET 10 OF 34

CON2008-01

FOR INFORMATION ONLY
PRELIMINARY PLAN HAS BEEN APPROVED | VILLAGE AT WELLS BRANCH PHASE 1

Date: Nov 11, 2020, 1:20pm User ID: Mhromana File: Water-creation.com\user-pa\projects\51128-02-301.dwg This document has been produced from material that was stored and/or transmitted electronically and may have been inaccurately altered. Rely only on final hardcopy materials bearing the consultant's original seal.

PROPOSED BOX CULVERT, 451.59LF
 TxDOT BOX CULVERT 5'-0"X3'-0"
 AS PER TxDOT DTL. SCP-5



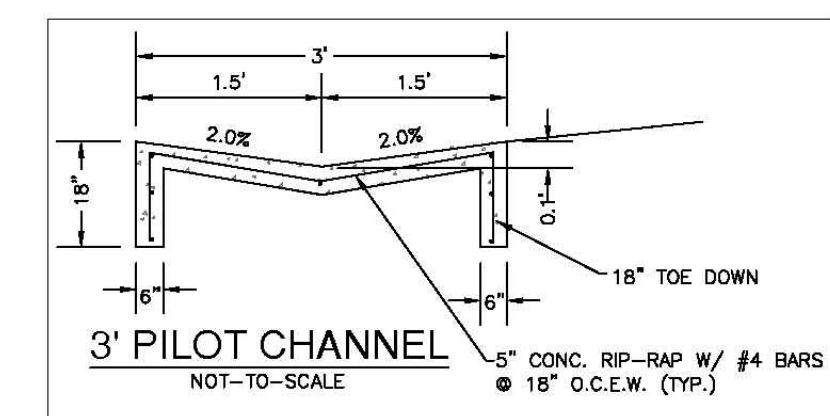
LEGEND

- PROPERTY LINE
- 1150- EXISTING CONTOUR
- 1150- PROPOSED CONTOURS

NOTES:
 1. FOR DRAINAGE CALCULATIONS AND ANALYSIS, REFERENCE VILLAGE AT WELLS BRANCH FLOOD STUDY DATED 9/21/2020.

OUTLET RATING TABLE

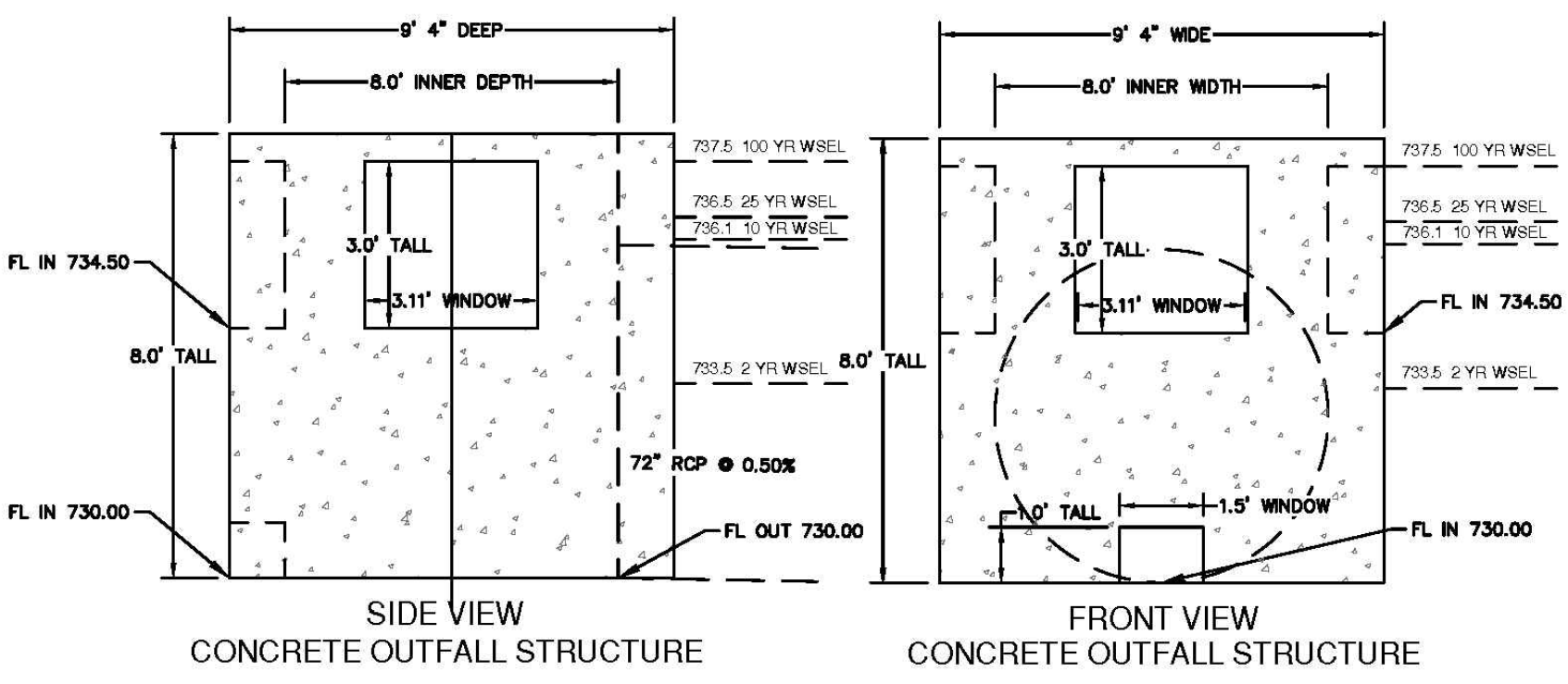
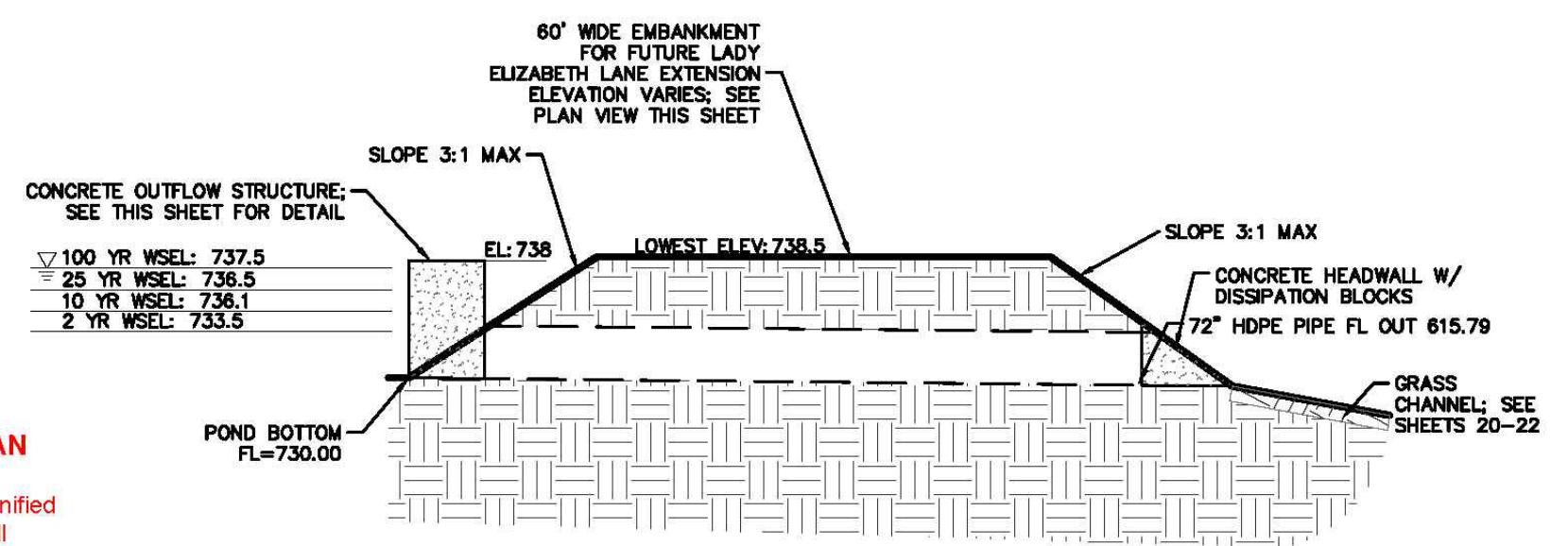
Elevation (ft)	Flow (cfs)
730.0	0
731.0	0.4
732.0	0.1
733.0	1.0
734.0	3.0
735.0	10.0
736.0	25.0
737.0	50.0
737.5	75.0



DETENTION POND

Elev. (ft)	Pr. Area (ft ²)	Area (ac)	Incremental Volume (ft ³)	Cumulative Volume (ft ³)
730	0	0.000000	0	0
731.0	22,590	0.518602	11,295	11,295
732.0	29,638	0.680394	26,114	37,409
733.0	31,829	0.730685	30,733	68,143
734.0	34,164	0.784308	32,997	101,139
735.0	36,496	0.837639	35,200	136,469
736.0	38,865	0.892688	37,690	174,160
737.0	41,330	0.948796	40,107	214,267
737.5	42,573	0.977346	20,976	235,243

PUBLIC IMPROVEMENT CONSTRUCTION PLAN APPROVAL
 Approval constitutes compliance with all City of Pflugerville Unified Development Code and Engineering Design requirements. All responsibility for the adequacy of these plans remains with the professionals who prepared them. No alterations of these plans shall be permissible.
 Approval Date: December 10, 2020



REGIONAL POND DRAINAGE SUMMARY TABLE

RAINFALL	Q' PRE DEVELOPED	Q' POST DEVELOPED	DIFFERENCE
100YRS	2,300 cfs	2,300 cfs	0.00
25YRS	1,825 cfs	1,785 cfs	-2.19
10YRS	1,425 cfs	1,405 cfs	-1.40
2YRS	750 cfs	745 cfs	-0.67

LOCAL POND DRAINAGE SUMMARY TABLE
 DRAINAGE AREA DA-6 (5.65 ACRES)

RAINFALL	Q' PRE DEVELOPED	Q' POST DEVELOPED	DIFFERENCE	WSEL
100YRS	39.58 cfs	48.40 cfs	8.82	737.50
25YRS	25.62 cfs	33.49 cfs	7.87	736.50
10YRS	18.28 cfs	25.54 cfs	7.26	736.10
2YRS	8.78 cfs	14.83 cfs	6.05	733.50

CON2008-01

NO. REVISION DATE



PARE-DAWSON ENGINEERS
 10801 N. MOORE EXPY. BLDG. 3, STE. 500 | AUSTIN, TX 78758 | 512.464.0711
 TEXAS FIRM REGISTRATION #1721 | TEXAS FIRM REGISTRATION #160881

VILLAGE AT WELLS BRANCH PUBLIC INFRASTRUCTURE PHASE 1
 PFLUGERVILLE, TEXAS
 DETENTION POND PLAN

JOB NO. 51128-02
 DATE AUGUST 2020
 DESIGNER TR
 CHECKED BT DRAWN KT
 SHEET 19 OF 34

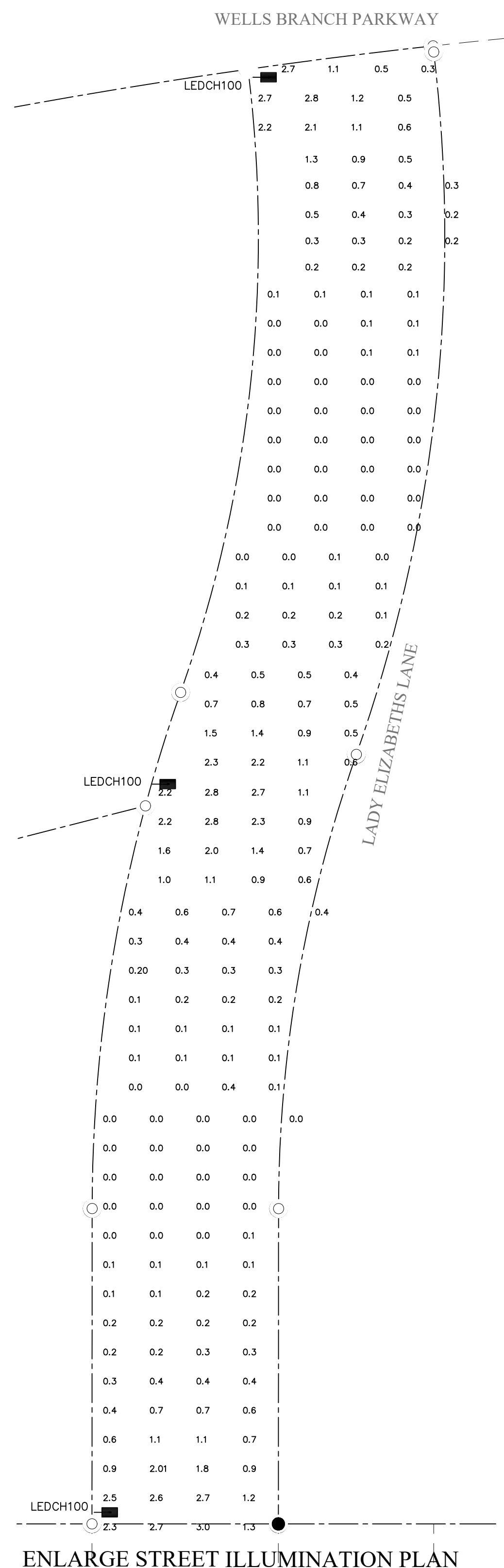
PROFESSIONAL STRUCTURAL ENGINEERS, INC.
 CONSULTING CIVIL AND STRUCTURAL ENGINEERS
 2205 WEST PARKER LANE, SUITE 210, AUSTIN, TX 78727 | TEL: 512.238.6422 | paco@pacoinc.com

VILLAGE AT WELLS BRANCH SECTION 2
 1305 E WELLS BRANCH PKWY
 CITY OF PFLUGERVILLE, TEXAS

DETENTION POND PLAN

PROJECT: 30717
 SHEET: 8 OF 10

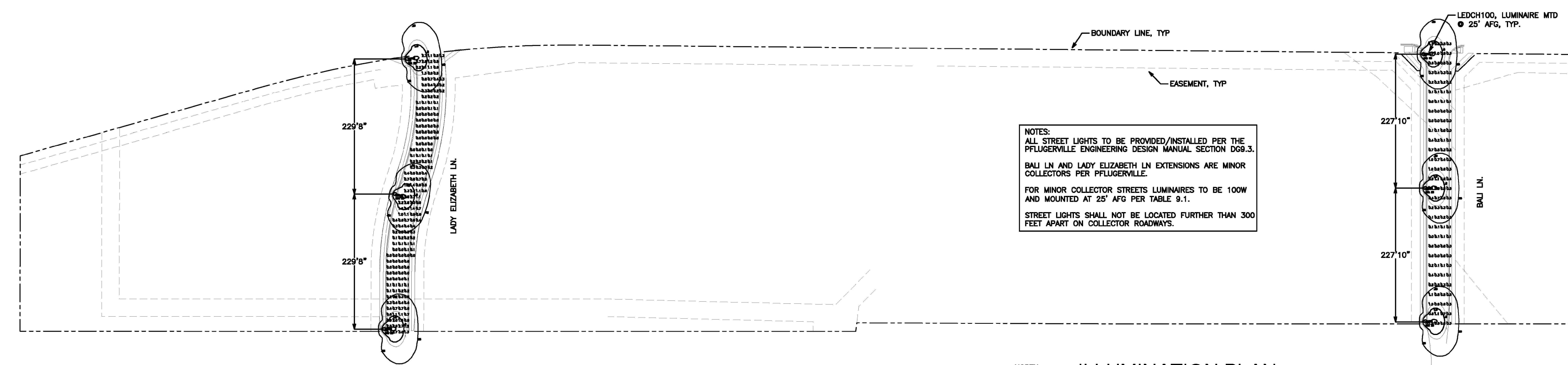
FOR INFORMATION ONLY
 PRELIMINARY PLAN HAS BEEN APPROVED | VILLAGE AT WELLS BRANCH PHASE 1



ENLARGE STREET ILLUMINATION PLAN

STREETLIGHTS SHALL BE INSTALLED AND IN FULL WORKING ORDER WITH THE PUBLIC IMPROVEMENTS.
 ALL STREETLIGHTS SHALL BE IN CONFORMANCE WITH ALL CITY OF PFLUGERVILLE ORDINANCES INCLUDING
 BUT NOT LIMITED TO BEING DOWNCAST AND FULL CUT OFF TYPE.

PUBLIC IMPROVEMENT CONSTRUCTION PLAN APPROVAL
 Approval constitutes compliance with all City of Pflugerville Unified Development Code and Engineering Design requirements. All responsibility for the adequacy of these plans remains with the professionals who prepared them. No alterations of these plans shall be permissible.
 Approval Date: December 10, 2020



Cobra Head Luminaire 213-105
 12-19

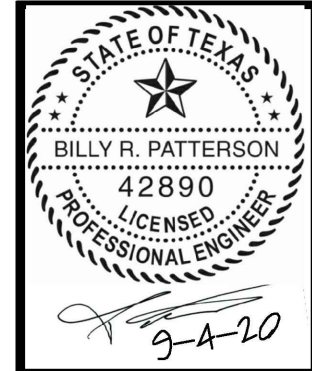
Item	Qty	Description	TSN/Ref	CU
1	0-1	LED Luminaire, Cobra Head, 0-95 W, Type III, 120-277 V	902644	LEDCH105
1	0-1	LED Luminaire, Cobra Head, 96-100 W, Type III, 120-277 V	902645	LEDCH100
1	0-1	LED Luminaire, Cobra Head, 101-140 W, Type III, 120-277 V	902646	LEDCH140
1	0-1	LED Luminaire, Cobra Head, 141-180 W, Type III, 120-277 V	902647	LEDCH180
1	0-1	LED Luminaire, Cobra Head, 181-256 W, Type III, 120-277 V	902648	LEDCH256
1	0-1	High Pressure Sodium Luminaire		
2	1	Bracket, Galvanized Steel		
3	1	Round Pole, Galvanized Steel, Anchor Base		
4	1	Precast Foundation		
5	1	Grounding	213-020	
6	1	Fusing	213-025	

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ALL STREET LIGHTS TO BE PROVIDED BY ONCOR.

REVISIONS

No.	Date	Description



RAYMOND ENGINEERING
 33038 TAMPA RD, STE. 101
 MCKINNA, TX 73544
 OFFICE: (281)440-7211
 FAX: (281)766-1977
 E-MAIL: Bill.Patterson@RaymondEngineering.com

THE VILLAGE AT WELLS BRANCH
 PFLUGERVILLE, TEXAS

DATE: 2020.07.10 DO SET
 CONTROL SEQUENCE:
 - MH -
 - MH -
 SHEET NUMBER:
E-1.1

Project: **VILLAGE AT WELLS BRANCH SECTION 2**
 1305 E WELLS BRANCH PKWY
 CITY OF PFLUGERVILLE, TEXAS

Title: **ILLUMINATION PLAN**

Project: 30717

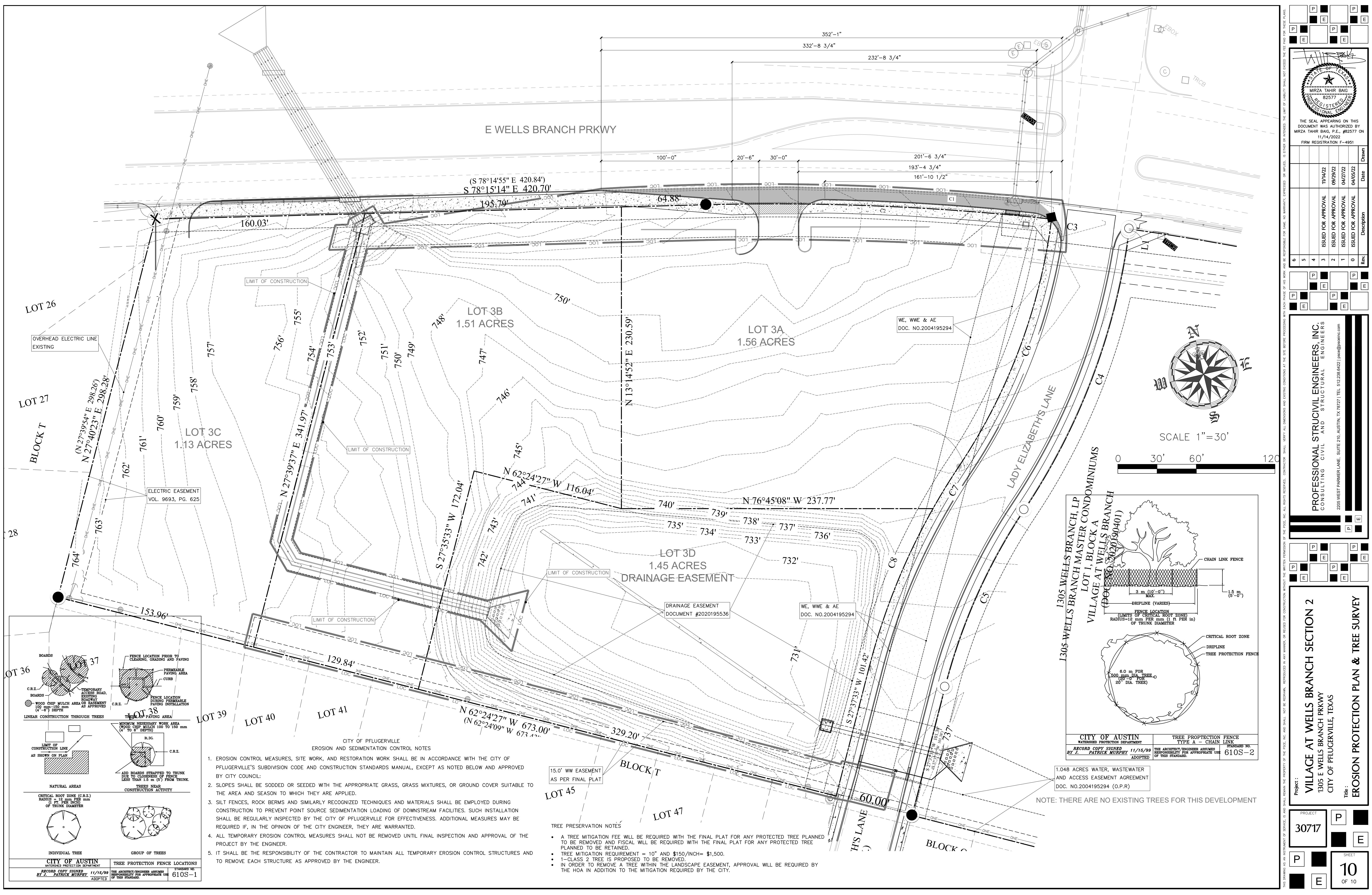
SHEET: 9 OF 10

Professional Engineer Seal for Mirza Tahir Baig, License No. 82577, State of Texas.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MIRZA TAHIR BAIG, P.E., #82577 ON 11/14/2022
 FIRM REGISTRATION F-4951

DATE: 2020.07.10 DO SET
 CONTROL SEQUENCE:
 - MH -
 - MH -
 SHEET NUMBER:
E-1.1

FOR INFORMATION ONLY
 PRELIMINARY PLAN HAS BEEN APPROVED | VILLAGE AT WELLS BRANCH PHASE 1



PROFESSIONAL STRUCTURAL ENGINEERS, INC.
CONSULTING CIVIL AND STRUCTURAL ENGINEERS
2205 WEST PARKER LANE, SUITE 210, AUSTIN, TX 78721 | TEL: 512.238.6222 | POC: @psenic.com

Rev	Description	Date	Drawn
6			
5			
4	ISSUED FOR APPROVAL	11/14/22	
3	ISSUED FOR APPROVAL	09/29/22	
2	ISSUED FOR APPROVAL	04/27/22	
1	ISSUED FOR APPROVAL	04/27/22	
0	ISSUED FOR APPROVAL	04/05/22	

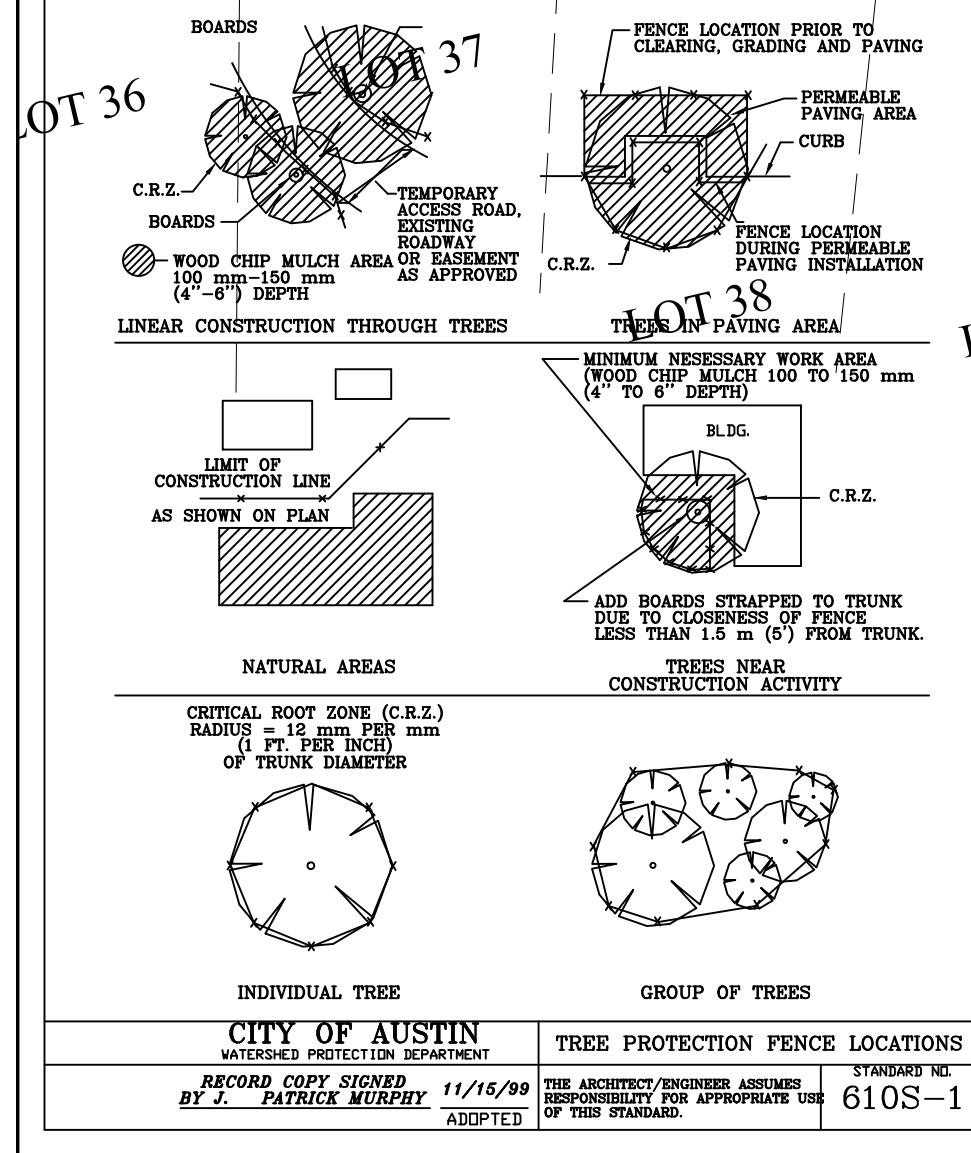
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VILLAGE AT WELLS BRANCH SECTION 2
1305 E WELLS BRANCH PKWY
CITY OF PFLUGERVILLE, TEXAS

EROSION PROTECTION PLAN & TREE SURVEY

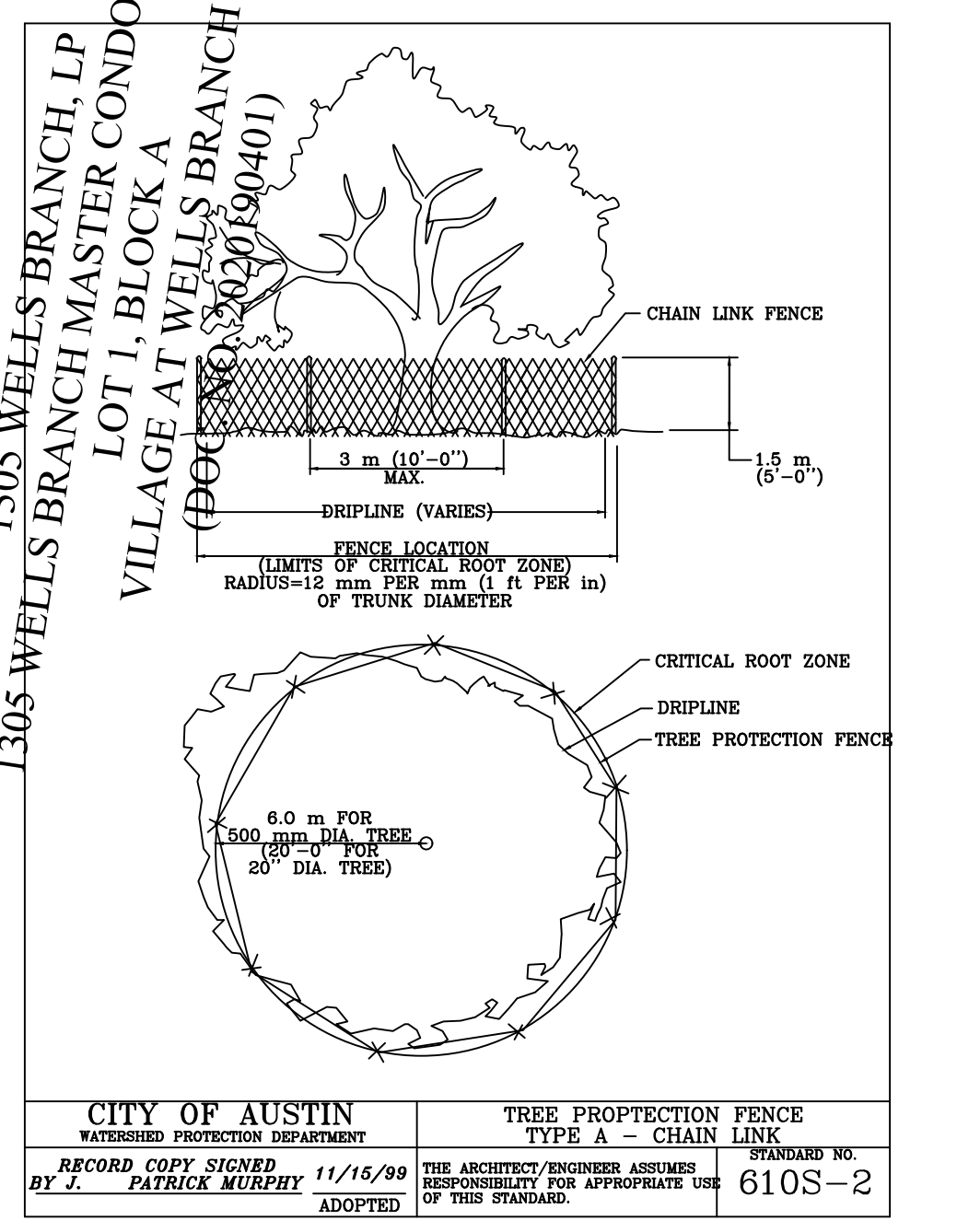
PROJECT: 30717

SHEET 10 OF 10



- CITY OF PFLUGERVILLE
EROSION AND SEDIMENTATION CONTROL NOTES**
- EROSION CONTROL MEASURES, SITE WORK, AND RESTORATION WORK SHALL BE IN ACCORDANCE WITH THE CITY OF PFLUGERVILLE'S SUBDIVISION CODE AND CONSTRUCTION STANDARDS MANUAL, EXCEPT AS NOTED BELOW AND APPROVED BY CITY COUNCIL:
 - SLOPES SHALL BE SODDED OR SEEDING WITH THE APPROPRIATE GRASS, GRASS MIXTURES, OR GROUND COVER SUITABLE TO THE AREA AND SEASON TO WHICH THEY ARE APPLIED.
 - SILT FENCES, ROCK BERMS AND SIMILARLY RECOGNIZED TECHNIQUES AND MATERIALS SHALL BE EMPLOYED DURING CONSTRUCTION TO PREVENT POINT SOURCE SEDIMENTATION LOADING OF DOWNSTREAM FACILITIES. SUCH INSTALLATION SHALL BE REGULARLY INSPECTED BY THE CITY OF PFLUGERVILLE FOR EFFECTIVENESS. ADDITIONAL MEASURES MAY BE REQUIRED IF, IN THE OPINION OF THE CITY ENGINEER, THEY ARE WARRANTED.
 - ALL TEMPORARY EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL FINAL INSPECTION AND APPROVAL OF THE PROJECT BY THE ENGINEER.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL TEMPORARY EROSION CONTROL STRUCTURES AND TO REMOVE EACH STRUCTURE AS APPROVED BY THE ENGINEER.

- TREE PRESERVATION NOTES**
- A TREE MITIGATION FEE WILL BE REQUIRED WITH THE FINAL PLAN FOR ANY PROTECTED TREE PLANNED TO BE REMOVED AND FISCAL WILL BE REQUIRED WITH THE FINAL PLAN FOR ANY PROTECTED TREE PLANNED TO BE RETAINED.
 - TREE MITIGATION REQUIREMENT = 10" AND \$150/INCH = \$1,500.
 - 1-CLASS 2 TREE IS PROPOSED TO BE REMOVED.
 - IN ORDER TO REMOVE A TREE WITHIN THE LANDSCAPE EASEMENT, APPROVAL WILL BE REQUIRED BY THE HOA IN ADDITION TO THE MITIGATION REQUIRED BY THE CITY.



**CITY OF AUSTIN
WATER RESOURCES DEPARTMENT**

RECORD COPY SIGNED 11/16/99 BY J. PATRICK MURPHY

THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

**TREE PROTECTION FENCE
TYPE A - CHAIN LINK**

STANDARD NO. 610S-2

1.048 ACRES WATER, WASTEWATER AND ACCESS EASEMENT AGREEMENT DOC. NO.2004195294 (O.P.R.)

NOTE: THERE ARE NO EXISTING TREES FOR THIS DEVELOPMENT