

LEGAL DESCRIPTION:

ABS 787 SUR 70 VAN WINKLE J ACR 5.6580

BENCHMARK
N = 10143798.23 E = 3148537.30 Elev = 777.12
BOX CUT ON TOP OF CURB

N = 10143755.18 E = 3148576.3 Elev = 776.07
STORM SEWER MANHOLE 1

SURVEYOR'S CERTIFICATION

STATE OF TEXAS:
KNOW ALL MEN BY THESE PRESENTS:
COUNTY OF TRAVIS:

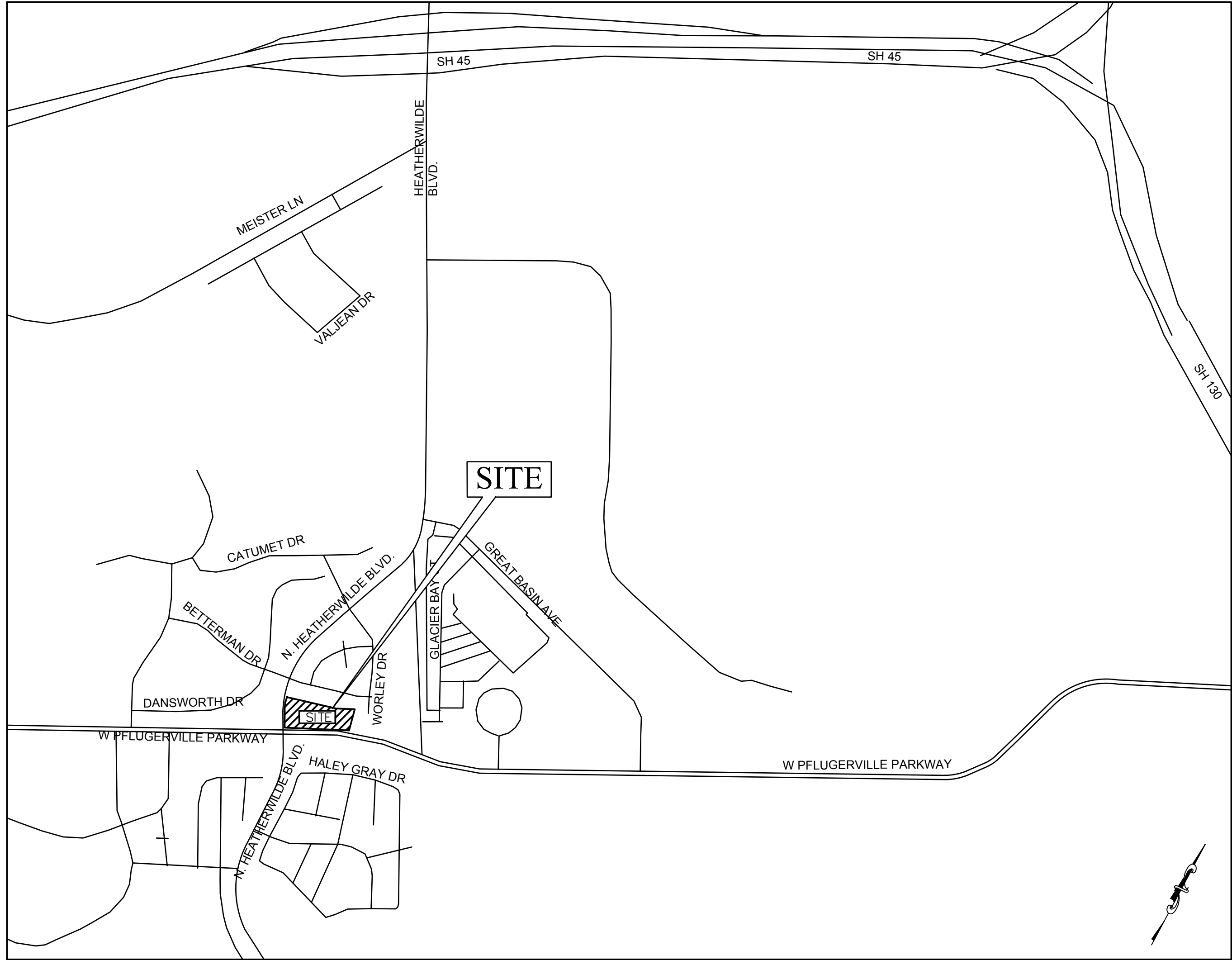
THAT I, FRED L. DODD JR., DO HEREBY CERTIFY THAT I PREPARED THIS PLAN FROM AN ACTUAL AND ACCU-RATE ON-THE-GROUND SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON MARKING THE BOUNDARY OF THE PROPOSED SUBDIVISION, BUT NOT INTERIOR LOT LINES, WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH ALL CITY OF PFLUGERVILLE, TEXAS CODES AND ORDINANCES AND THAT ALL KNOWN EASEMENTS WITHIN THE BOUNDARY OF THE PLAT ARE SHOWN HEREON.

FRED L. DODD, JR.
RPLS NO. 6392

ASSOCIATED STUDIES:

SPRINGBROOK SECTION 1 PAVING & DRAINAGE PLANS
COMPLETED BY MURFEE ENGINEERING 1998

PRELIMINARY PLAN (NOT FOR RECORDATION)
FOR
CROSSLEY DEVELOPMENT



SCALE 1"=1000'

SUBMITTAL DATE: JULY 3, 2017

SUBMITTED FOR REVIEW BY:

I, TIMOTHY J. MOLTZ, DO HEREBY CERTIFY THAT THE PUBLIC WORKS AND DRAINAGE IMPROVEMENTS DESCRIBED HEREIN HAVE BEEN DESIGNED IN COMPLIANCE WITH THE CITY OF PFLUGERVILLE CITY ORDINANCE AND ENGINEERING STANDARDS.


DANIEL J. ARREDONDO, P.E. 11/19/2018
DATE



APPROVED BY:

PLANNING DEPARTMENT, CITY OF PFLUGERVILLE, TEXAS

DEVELOPMENT ENGINEERING DEPARTMENT, CITY OF PFLUGERVILLE, TEXAS

DRAWING INDEX

PRELIMINARY PLAN

- 01 COVER SHEET
- 02 PRELIMINARY PLAT OVERALL PLAN
- 03 EXISTING CONDITIONS
- 04 UTILITY PLAN
- 05 EXISTING DRAINAGE AREA MAP
- 06 PROPOSED DRAINAGE AREA MAP
- 07 TREE SURVEY
- 08 PLAN AND PROFILE

NOTES:

- THIS PLAT LIES WITHIN THE CITY OF PFLUGERVILLE FULL PURPOSE JURISDICTION
- WATER AND WASTEWATER SHALL BE PROVIDED BY THE CITY OF PFLUGERVILLE. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO WATER AND WASTEWATER FACILITIES.
- A 10-F PUBLIC UTILITY EASEMENT (P.U.E.) SHALL BE DEDICATED ALONG ALL STREET FRONTAGE(S).
- EASEMENT(S) DEDICATED TO THE PUBLIC BY THIS PLAN SHALL ALSO BE SUBJECT TO THE TERMS AND CONDITIONS OF THE ENGINEERING DESIGN MANUAL, AS AMENDED. THE GRANTOR (PROPERTY OWNER(S)), HEIRS, SUCCESSORS AND ASSIGNS SHALL RETAIN THE OBLIGATION TO MAINTAIN THE SURFACE OF THE EASEMENT PROPERTY, INCLUDING THE OBLIGATION TO REGULARLY MOW OR CUT BACK VEGETATON AND TO KEEP THE SURFACE OF THE EASEMENT PROPERTY FREE OF LITER, DEBRIS, AND TRASH.
- NO IMPROVEMENTS INCLUDING BUT NOT LIMITED TO STRUCTURES, FENCES, OR LANDSCAPING SHALL BE ALLOWED IN A PUBLIC EASEMENT, EXCEPT AS APPROVED BY THE CITY.
- THE PROPERTY OWNER SHALL PROVIDE ACCESS TO DRAINAGE AND UTILITY EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS FOR THE PLACEMENT, CONSTRUCTION, INSTALLATION, REPLACEMENT, REPAIR, MAINTENANCE, RELOCATION, REMOVAL, OPERATION AND INSPECTION OF SUCH DRAINAGE AND UTILITY FACILITIES, AND RELATED APPURTENANCES.
- A SIX (6) FOOT WIDE SIDEWALK SHALL BE PROVIDED ON BOTH SIDES OF THE STREET
- THIS SUBDIVISION IS SUBJECT TO ALL CITY OF PFLUGERVILLE ORDINANCES OR TECHNICAL MANUALS RELATED TO TREE PRESERVATION PER CITY ORDINANCE # 1203-15-02-24 AND CITY RESOLUTION # 1224-09-08-25-8A.
- THE COMMUNITY IMPACT FEE RATE FOR WATER AND WASTEWATER WILL BE ASSESSED AT THE TIME OF FINAL PLAT.
- OFF-SITE STORM WATER FACILITIES HAVE BEEN PROVIDED TO MITIGATE POST-DEVELOPMENT PEAK RUNOFF RATES FOR THE 2 YEAR, 25 YEAR AND 100 YEAR STORM EVENTS AS LONG AS OVERALL IMPERVIOUS COVER DOES NOT EXCEED 73%.
- ALL ELECTRIC UTILITY INFRASTRUCTURE INCLUDING BUT NOT LIMITED TO TELEPHONE, CABLE TELEVISION, ELECTRIC UTILITY LATERAL AND SERVICE LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF PFLUGERVILLE ENGINEERING DESIGN MANUAL.
- THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF PFLUGERVILLE.
- CONSTRUCTION PLANS AND SPECIFICATIONS FOR ALL SUBDIVISION IMPROVEMENTS SHALL BE REVIEWED AND APPROVED BY THE CITY OF PFLUGERVILLE PRIOR TO ANY CONSTRUCTION WITHIN THE SUBDIVISION.
- SITE DEVELOPMENT CONSTRUCTION PLANS SHALL BE REVIEWED AND APPROVED BY THE CITY OF PFLUGERVILLE PRIOR TO ANY CONSTRUCTION.
- NO PORTION OF THIS TRACT IS WITHIN A FLOOD HAZARD AREA AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP PANEL # 48453C0260J FOR TRAVIS COUNTY, EFFECTIVE AUGUST 18, 2014.
- ALL PROPOSED FENCES AND WALLS ADJACENT TO INTERSECTING PUBLIC ROADWAY RIGHT-OF-WAY OR ADJACENT TO PRIVATE ACCESS DRIVES SHALL BE IN COMPLIANCE WITH THE SIGHT DISTANCE REQUIREMENTS OF THE CITY OF PFLUGERVILLE ENGINEERING DESIGN MANUAL, AS AMENDED.
- WASTEWATER AND WATER SYSTEMS SHALL CONFORM TO TCEQ (TEXAS COMMISSION ON ENVIRONMENTAL QUALITY) AND STATE BOARD OF INSURANCE REQUIREMENTS. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR RE-PLATTING MAY BE REQUIRED AT THE OWNER'S SOLE EXPENSE IF PLANS TO DEVELOP THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.

Number	DESCRIPTION OF REVISION	Reviewed By	DATE

NOTES:

A CONNECTION TO OFF SITE REGIONAL DETENTION IS PROVIDED AT THE NORTH SIDE OF THE SUBDIVISION FOR ALL LOTS IN THE DEVELOPMENT.

PLATTED ACREAGE: 5.6530 ACRES
NO. OF LOTS: (2); LOT 1 (1.250 AC), LOT 2 (4.403 AC)
PROPOSED LAND USE: COMMERCIAL AND OFFICE

OWNER
CROSSLEY & CROSSLEY
P.O. BOX 1117
ROUND ROCK, TX 78680

SURVEYOR:
FRED L. DODD, JR. SURVEYOR, INC.
FRED L. DODD, RPLS
8019 W. GRAND PKWY S., STE 1060 #464
RICHMOND, TEXAS 77407

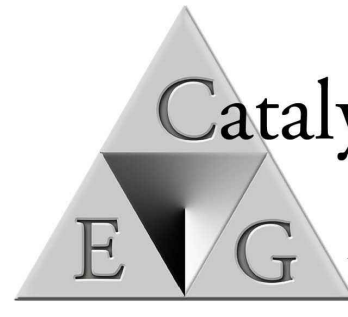
ENGINEER:
CATALYST ENGINEERING GROUP, PLLC
ENGINEER: DANIEL J. ARREDONDO, P.E.
CONTACT: TRAVIS D. MOLTZ, E.I.T.
100 S 2ND STREET
PFLUGERVILLE, TX 78660

UTILITY SERVICE PROVIDERS:

WATER & WASTEWATER SERVICE:
CITY OF PFLUGERVILLE
CONTACT: MATT WOODARD
15500 SUN LIGHT NEAR WAY #B
PFLUGERVILLE, TEXAS 78660
512-990-6400

ELECTRIC SERVICE BY:
ONCOR
C/O JESSIE TREVINO
SR. UTILITY DESIGNER
1616 WOODALL RODGERS FREEWAY #2M-012
DALLAS, TX 75202
512-244-5661

GAS SERVICE BY:
ATMOS ENERGY
1005 CONVENTION PLAZA
ST. LOUIS, MO 63101
(877) 460-7067



Catalyst Engineering Group

100 South 2nd Street
Pflugerville, Texas 78660
TBPE FIRM No. F-13275

Office: (512) 944-6077
Mobile: (512) 944-6077

*ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF PFLUGERVILLE MUST RELY ON THE ADEQUACY OF THE WORK OF DESIGN ENGINEER.

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	25.00'	39.26'	N 17°27'14" W	35.35'
[C1]	25.00'	39.34'	N 15°06'29" W	35.40'
(C1)	25.00'	39.27'	N 15°06'14" W	35.36'
C2	1155.00'	64.25'	S 29°09'48" W	64.24'
C3	1155.00'	263.17'	N 34°05'50" E	262.60'
(C3)	1155.00'	263.15'	N 36°25'24" E	262.59'
C4	1155.00'	198.92'	N 35°41'27" E	198.67'
C5	2060.22'	286.55'	N 58°14'47" W	286.32'

LINE	BEARING	DISTANCE
L1	N 27°32'59" E	2.09'
L2	N 29°48'57" E	8.70'
L3	N 31°34'11" E	21.40'

PRELIMINARY PLAN
LOT 1 & 2 CROSSLEY TRACT

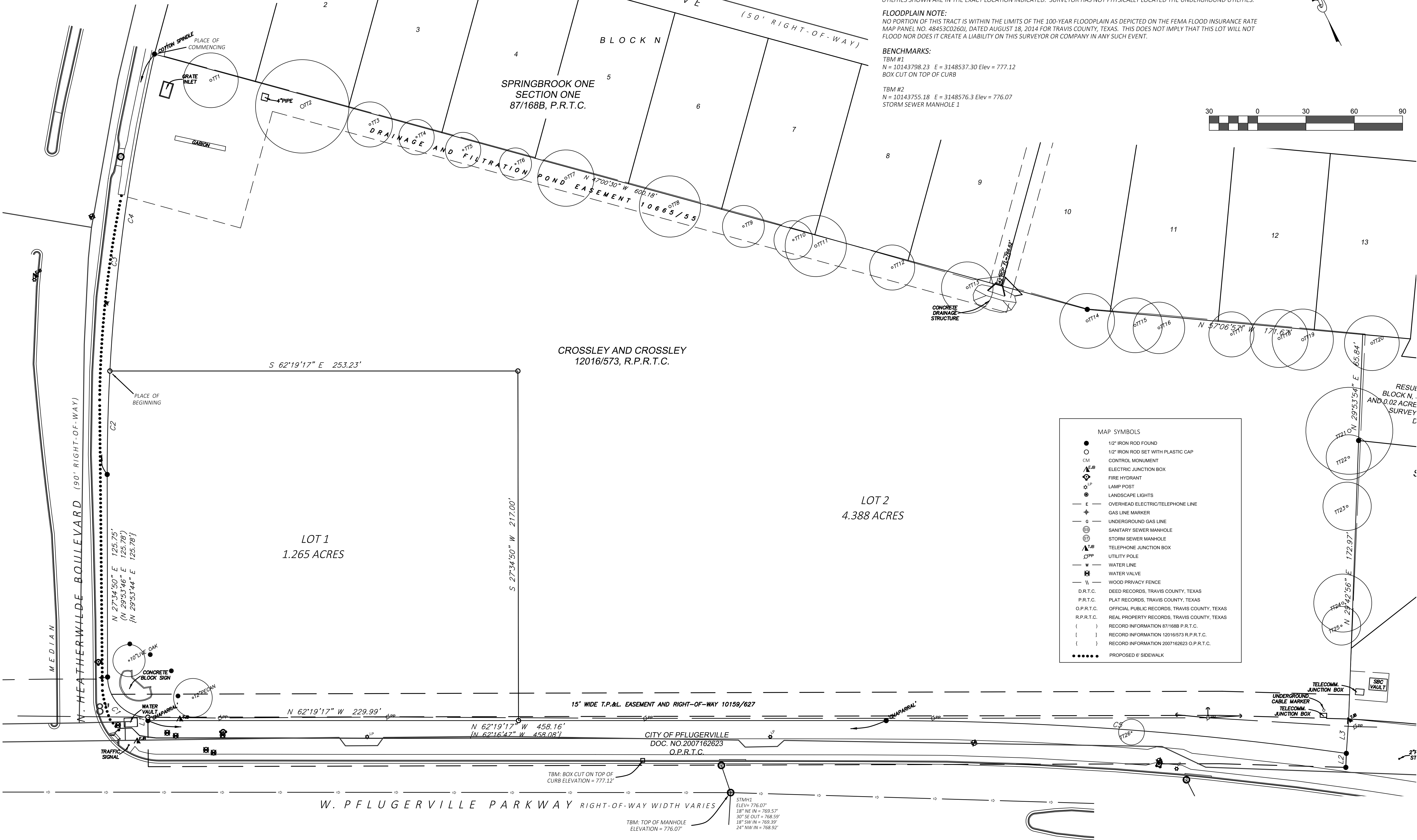
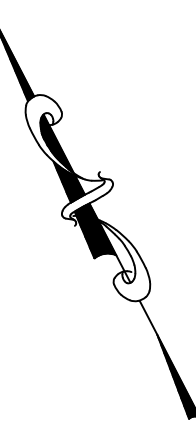
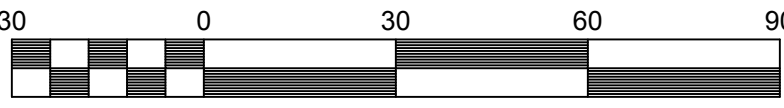
NOTES:
1) SYMBOLS MAY BE EXAGGERATED FOR CLARITY.
2) BEARING BASIS IS THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD83, TEXAS SOUTH CENTRAL ZONE, USING A COMBINED SCALE FACTOR OF 0.999887926 AND HAVING A CONVERGENCE ANGLE OF 01°23'35".
3) ELEVATIONS AND CONTOURS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
4) THE MANVILLE WATER SUPPLY CO. EASEMENT IN VOLUME 4823, PAGE 1845, DEED RECORDS, TRAVIS COUNTY, TEXAS MAY OR MAY NOT AFFECT THIS TRACT. (EASEMENT IS NOT PLOTTABLE.)

UTILITIES NOTE:
THIS IS AN ABOVE GROUND SURVEY ONLY. ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL OF SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. ALSO, SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

FLOODPLAIN NOTE:
NO PORTION OF THIS TRACT IS WITHIN THE LIMITS OF THE 100-YEAR FLOODPLAIN AS DEPICTED ON THE FEMA FLOOD INSURANCE RATE MAP PANEL NO. 48453C0260, DATED AUGUST 18, 2014 FOR TRAVIS COUNTY, TEXAS. THIS DOES NOT IMPLY THAT THIS LOT WILL NOT FLOOD NOR DOES IT CREATE A LIABILITY ON THIS SURVEYOR OR COMPANY IN ANY SUCH EVENT.

BENCHMARKS:
TBM #1
N = 10143798.23 E = 3148537.30 Elev = 777.12
BOX CUT ON TOP OF CURB

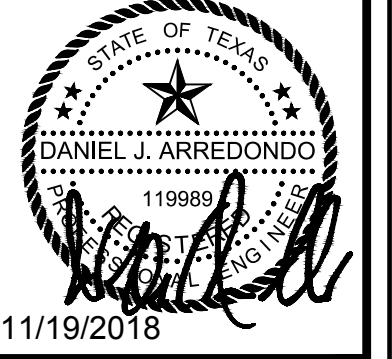
TBM #2
N = 10143755.18 E = 3148576.3 Elev = 776.07
STORM SEWER MANHOLE 1



WARNING !!! CONTRACTOR TO FIELD VERIFY ALL EXIST. UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

DRAWING SCALE	HORIZ. =	VERT. =
SURVEYED	03/27/2017	
FILE NAME	CROSSLEY DEVELOPMENT	
DATE	11/19/2018	
DRAWN	EJH, TDM	
DESIGNED	TJM	



Catalyst Engineering Group
100 South 7th Street
Pflugerville, Texas 78660
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Mobile: (512) 944-6077
TDM: 7144 No. F-12275

CROSSLEY DEVELOPMENT
PRELIMINARY PLAN
PFLUGERVILLE PARKWAY
PFLUGERVILLE, TEXAS 78660

TREE AND TOPOGRAPHIC SURVEY OF 5.653 ACRES OF LAND, MORE OR LESS, OUT OF THE JOHN VAN WINKLE SURVEY NO.70, ABSTRACT NO. 17, SITUATED IN TRAVIS COUNTY, TEXAS, AND BEING A PORTION OF THE TRACT DESCRIBED AS "TRACT 2" IN THE DEED TO CROSSLEY AND CROSSLEY, RECORDED IN VOLUME 12016, PAGE 573, OF THE REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS.

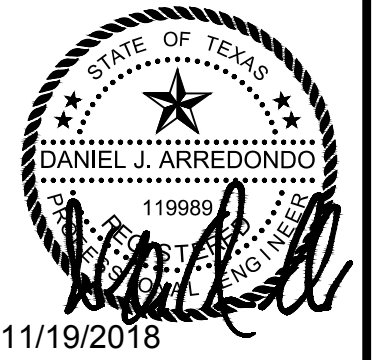


MAP SYMBOLS

- 1/2" IRON ROD FOUND
- 1/2" IRON ROD SET WITH PLASTIC CAP
- CM CONTROL MONUMENT
- ⚡ E.B. ELECTRIC JUNCTION BOX
- ⦿ FIRE HYDRANT
- ⦿ LAMP POST
- ⦿ LANDSCAPE LIGHTS
- E — OVERHEAD ELECTRIC/TELEPHONE LINE
- G — GAS LINE MARKER
- U — UNDERGROUND GAS LINE
- S — SANITARY SEWER MANHOLE
- ST — STORM SEWER MANHOLE
- ⚡ T.B. TELEPHONE JUNCTION BOX
- U.P. UTILITY POLE
- W — WATER LINE
- ⦿ WATER VALVE
- W — WOOD PRIVACY FENCE
- D.R.T.C. DEED RECORDS, TRAVIS COUNTY, TEXAS
- P.R.T.C. PLAT RECORDS, TRAVIS COUNTY, TEXAS
- O.P.R.T.C. OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS
- R.P.R.T.C. REAL PROPERTY RECORDS, TRAVIS COUNTY, TEXAS
- () RECORD INFORMATION 87/168B P.R.T.C.
- [] RECORD INFORMATION 12016/573 R.P.R.T.C.
- { } RECORD INFORMATION 2007162623 O.P.R.T.C.

DRAWING SCALE	HORIZ. =	VERT. =
	03/27/2017	
FILE NAME	CROSSLEY DEVELOPMENT	
DATE	11/19/2018	
DRAWN	EJH	TDM
DESIGNED	TJM	

NO.	DATE	REVISION	BY
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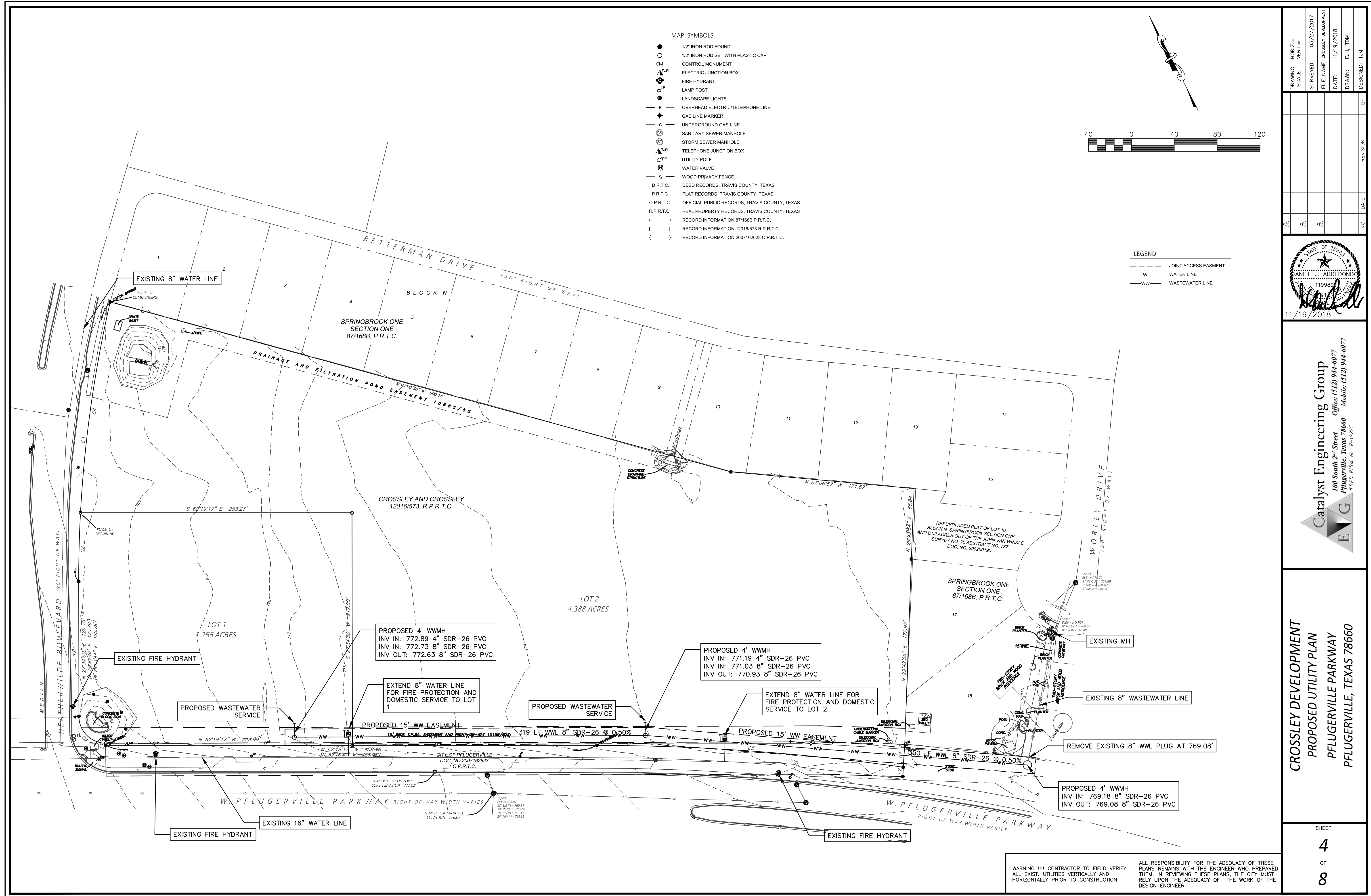


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Toll Free: 1-877-456-6077

CROSSLEY DEVELOPMENT
EXISTING CONDITIONS
PFLUGERVILLE PARKWAY
PFLUGERVILLE, TEXAS 78660

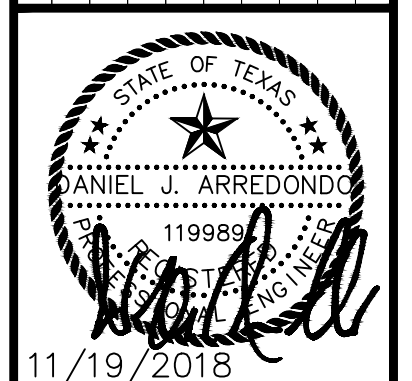
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DRAWING SCALE:	HORIZ. = VERT. =
SURVEYED:	03/27/2017
FILE NAME: CROSSLEY DEVELOPMENT	
DATE:	11/19/2018
DRAWN:	EJH, TDM
DESIGNED:	TJM

NO.	DATE	REVISION	BY
A			
A			
A			



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CROSSLEY DEVELOPMENT
PROPOSED UTILITY PLAN
PFLUGERVILLE PARKWAY
PFLUGERVILLE, TEXAS 78660

PROPOSED CONDITIONS

Weighted Runoff Coefficient						
Site Information		Impvs. Area	Pervious Area	Rational Method Runoff Coefficient		
DA-1	Acreage	(Acres)	(Acres)	Impervious	Pervious	Weighted
2-year	5.756	4.202	1.554	0.75	0.21	0.60
10-year	5.756	4.202	1.554	0.81	0.25	0.66
25-year	5.756	4.202	1.554	0.86	0.29	0.71
100-year	5.756	4.202	1.554	0.95	0.36	0.79

Total Area 5.756 *Concrete Road, Flat Developed Grass Land From Table 2-1, Austin DCM Section 2.4
Total I.C. 73.00% *Assume 73% IC Allowable for Commercial Lot Per City Conversations

PROPOSED CONDITIONS

Weighted Runoff Coefficient								
Site Information		Impvs. Area		Pervious Area			Rational Method Runoff Coefficient	
OFFS. DA-1	Acreage	(Acres)	(Acres)	Impervious	Pervious	Weighted		
2-year	1.299	0.520	0.779	0.75	0.31	0.11		
10-year	1.299	0.520	0.779	0.81	0.36	0.12		
25-year	1.299	0.520	0.779	0.86	0.40	0.13		
100-year	1.299	0.520	0.779	0.95	0.47	0.15		

Total Area 1.299 *Concrete Driveways, Flat Developed Grass Land From Table 2-1, Austin DCM Section 2.4
Total I.C. 40.00% *Assume 40% IC from Existing Residential Lots

Proposed Drainage Area Map TC Calculations (5 Minutes-Minimum)

Site Information	Rational Method Sheet Flow (100ft Max.) - Short Grass					Rational Method Shallow Concentrated Flow					Rational Method Channel Flow					Total Time of Concentration		Lag Time
DA	Acreage	Manning's 'n'	Length (ft)	Slope (ft/ft)	TC (min.)	Length (ft)	Slope (ft/ft)	Surface Type	TC (min.)	Length (ft)	Velocity (ft/s)	Tt (min)	TC (min.)	Length (ft)	Velocity (ft/s)	Tt (min)	TC (min.)	(min)
OFFS. DA-1	1.299	0.15	100	0.0168	10.13	486.00	0.0051	Paved	7.00	0.00	0.00	0.00	17.13	0.00	0.00	0.00	17.13	10.279
DA-1	5.756	0.015	100	0.0200	1.50	500.00	0.0125	Paved	4.62	0.00	0.00	0.00	6.12	0.00	0.00	0.00	6.12	3.670

*Coefficients and data used from Austin DCM Section 2.4

Intensity of Precipitation (inches per hour)

Recurrence Interval		2-Year	10-Year	25-Year	100-Year
DA	Acreage	(in/hr)	(in/hr)	(in/hr)	(in/hr)
OFFS. DA-1	1.299	3.65	5.47	6.54	8.45
DA-1	5.756	5.45	8.12	9.60	11.98

Peak Runoff Calculations (cfs)

DA	Acreage	2yr	10yr	25yr	100yr
OFFS. DA-1	1.299	0.52	0.87	1.13	1.65
DA-1	5.756	19.11	31.03	39.31	54.96
TOTAL	7.055	19.630	31.898	40.442	56.61

NOTES:

A CONNECTION TO OFF SITE REGIONAL DETENTION IS PROVIDED AT THE NORTH SIDE OF THE SUBDIVISION FOR ALL LOTS IN THE DEVELOPMENT.

Culvert Report

Hydrowflow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc.

Friday, Nov 17 2017

PROPOSED SS-LINE 'B-1' 42 INCH RCP - 100 YEAR

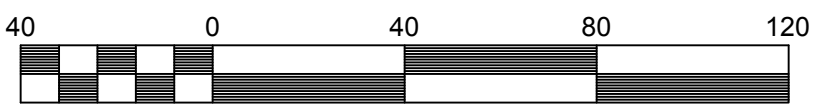
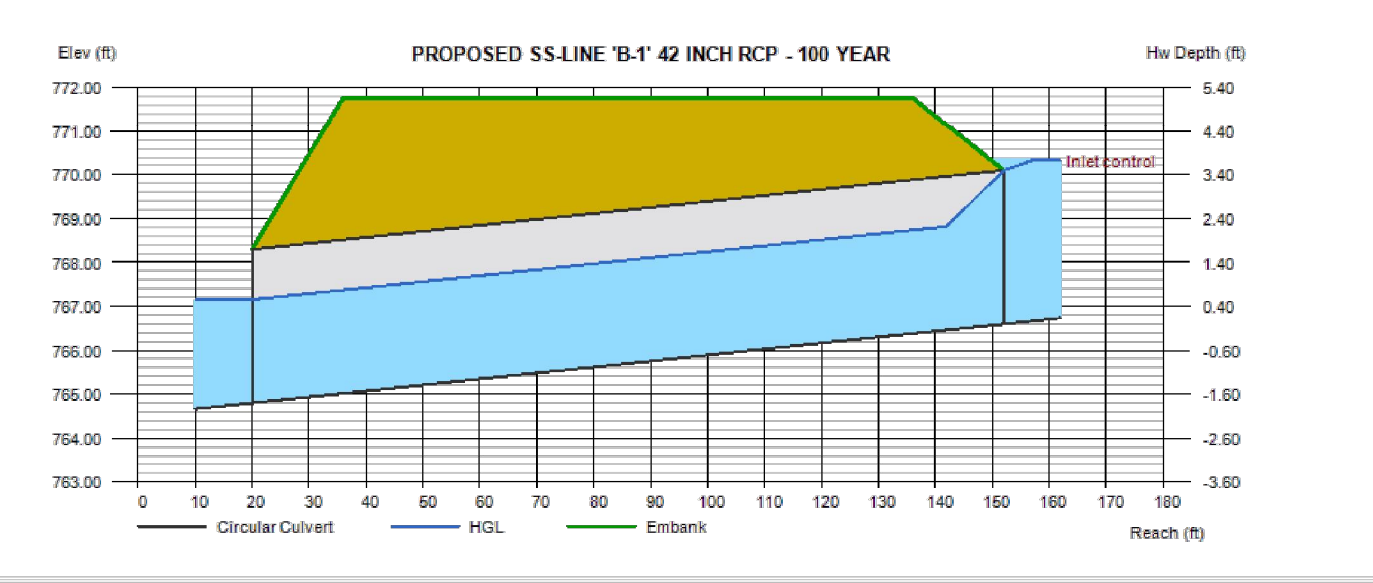
Invert Elev Dn (ft) = 764.80
 Pipe Length (ft) = 132.00
 Slope (%) = 1.36
 Invert Elev Up (ft) = 766.60
 Rise (in) = 42.0
 Shape = Circular
 Span (in) = 42.0
 No. Barrels = 1
 n-Value = 0.012
 Culvert Type = Circular Concrete
 Culvert Entrance = Square edge w/headwall (C)
 Coeff. K,M,c,Y,k = 0.0098, 2, 0.0398, 0.67, 0.5

Calculations
 Qmin (cfs) = 56.61
 Qmax (cfs) = 56.61
 Tailwater Elev (ft) = 0.00

Highlighted
 Qtotal (cfs) = 56.61
 Qpipe (cfs) = 56.61
 Qovertop (cfs) = 0.00
 Veloc Dn (ft/s) = 8.23
 Veloc Up (ft/s) = 8.23
 HGL Dn (ft) = 767.15
 HGL Up (ft) = 768.95
 Hw Elev (ft) = 770.32
 Hw/D (ft) = 1.06
 Flow Regime = Inlet Control

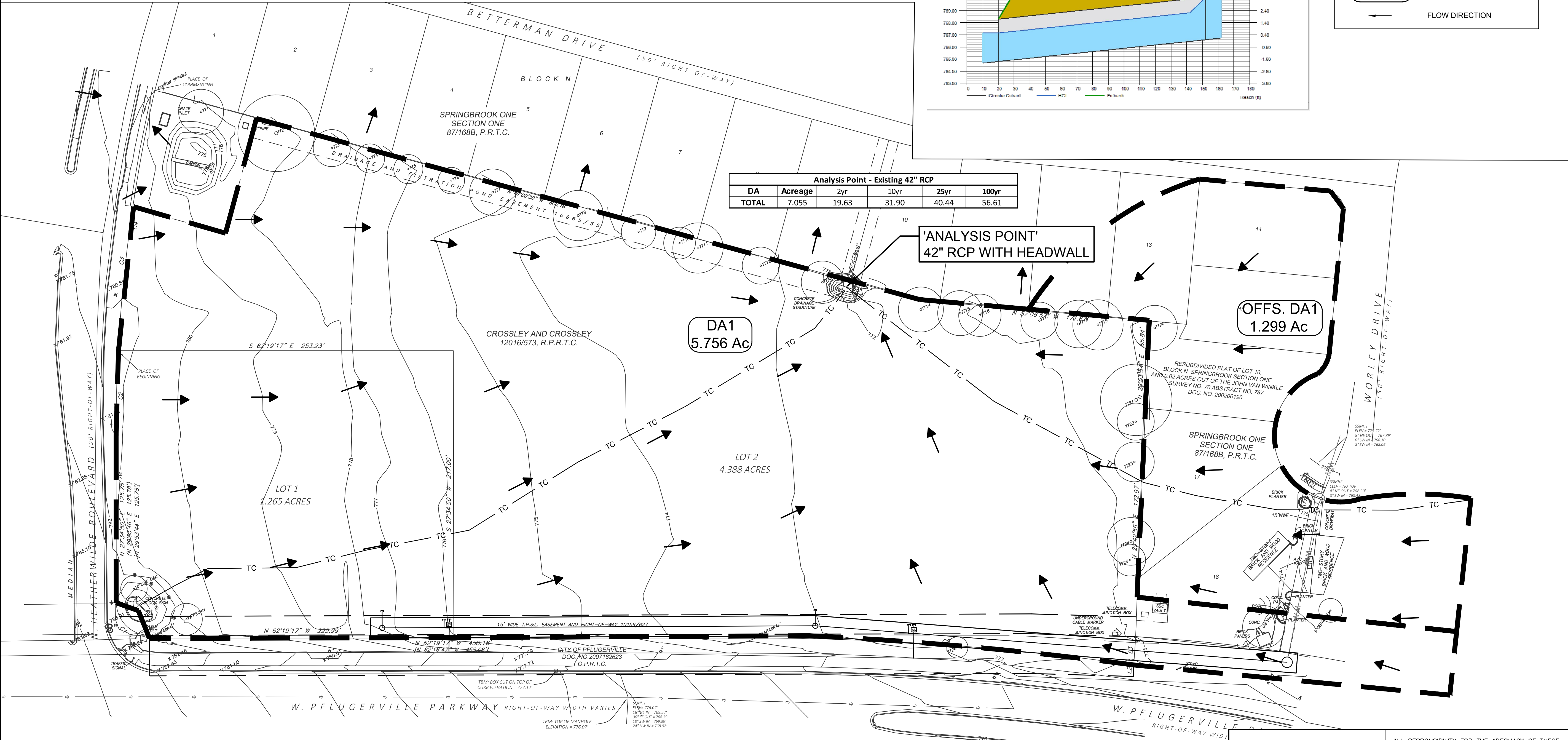
Embankment

Top Elevation (ft) = 771.77
 Top Width (ft) = 100.00
 Crest Width (ft) = 99.00



LEGEND

- DRAINAGE AREA BOUNDARY
- TC Tc FLOW PATH
- ZZ 0.0 Ac DRAINAGE AREA LABEL
- ← FLOW DIRECTION



Analysis Point - Existing 42" RCP					
DA	Acreage	2yr	10yr	25yr	100yr
TOTAL	7.055	19.63	31.90	40.44	56.61

'ANALYSIS POINT'
42" RCP WITH HEADWALL

OFFS. DA1
1.299 Ac

DA1
5.756 Ac

DRAWING SCALE:	HORIZ. =	VERT. =
SURVEYED:	03/27/2017	
FILE NAME:	CROSSLEY DEVELOPMENT	
DATE:	11/19/2018	
DRAWN:	EJH, TDM	
DESIGNED:	TJM	



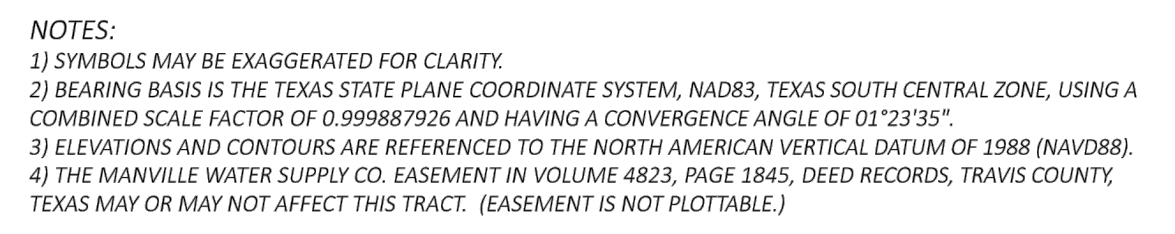
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CROSSLEY DEVELOPMENT
PROPOSED DRAINAGE AREA MAP
PFLUGERVILLE PARKWAY
PFLUGERVILLE, TEXAS 78660

SHEET
 6
 OF
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WARNING !!! CONTRACTOR TO FIELD VERIFY ALL EXIST. UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.



TREE PROTECTION

1. All trees not located within the limits of construction and outside of disturbed areas shall be preserved.
2. All trees shown on this plan to be retained shall be protected during construction with fencing.
3. Tree protection fences shall be erected according to city standards for tree protection, including types of fencing and signage.
4. Tree protection fences shall be installed prior to the commencement of any site preparation work (clearing, grubbing, or grading) and shall be maintained throughout all phases of the construction project.
5. Erosion and sedimentation control barriers shall be installed or maintained in a manner which does not result in trenching or soil build-up within tree CRZ's or driplines.
6. Tree protection fences shall completely surround the tree or clusters of trees and be placed at the outermost limits of the tree branches (dripline) or CRZ, whichever is greater; and shall be maintained throughout the construction project in order to prevent the following:
 - a. Soil compaction in root zone area resulting from vehicular traffic or storage of equipment or material.
 - b. Root zone disturbances due to grade changes (greater than 6 inches cut or fill) or trenching not reviewed and authorized by the City Arborist or Administrator.
 - c. Wounds to exposed roots, trunk, or limbs by mechanical equipment
 - d. Other activities detrimental to trees, such as chemical storage, concrete truck cleaning and fire.
7. Exceptions to installing tree fences at the tree driplines or CRZ, whichever is greater, may be permitted in the following cases:
 - a. Where there is to be an approved grade

- change, impermeable paving surface, or tree well.
- b. Where permeable paving is to be installed, erect the fence at the outer limits of the permeable paving area.
- c. Where trees are close to proposed buildings, erect the fence no closer than 6 feet to the building.
- d. Where there are severe space constraints due to tract size, or other special requirements, contact the City Arborist to discuss alternatives.
8. Where any of the above exceptions result in a fence that is closer than 5 feet to a tree trunk, protect the trunk with strapped-on planking to a height of 8 feet (or to the limits of lower branching) in addition to the reduced fencing provided.
9. Where any of the above exceptions result in areas of unprotected root zones under the dripline or CRZ, whichever is greater, those areas should be covered with 6 inches of organic mulch to minimize soil compaction.
10. Where any of the above exceptions result in damage to the fine, water absorbing roots, supplemental watering shall be required:
 - a. Supplemental watering shall be applied every two weeks during periods of hot, dry weather.
 - b. Tree crowns are to be sprayed with water periodically to reduce dust accumulation on leaves.
 - c. A signed watering contract shall be required.
11. Prior to excavation or grade cutting within tree driplines, a clean cut shall be made between the disturbed and undisturbed root zones with a rock saw or similar equipment to minimize damage to remaining roots.
12. Any grading within protected root zone areas shall be done by hand or with small equipment to minimize root damage. Prior to grading, relocate protective fencing to 2 feet behind the grade change area.
13. Any roots exposed by construction activity shall be pruned flush with the soil. Backfill root

areas with good quality top soil. If exposed root areas are not backfilled within 2 days, cover them with organic material in a manner which reduces soil temperature and minimizes water loss due to evaporation.

14. When installing concrete adjacent to the root zone of a tree, use a plastic vapor barrier behind the concrete to prohibit leaching of lime into the root zone.

15. Any trenching shall be as far from existing tree trunks as possible. Trench lines shall not run within the CRZ. Boring, tunneling or other techniques may be approved by the City Arborist or Administrator if there is no alternative available.

16. No landscape topsoil dressing greater than four (4) inches shall be permitted within the double CRZ, whichever is greater, of trees. No topsoil is permitted on root flares or within 6 inches of tree trunks.

17. Pruning to provide clearance for structures, vehicular traffic and construction equipment shall take place before construction begins. All pruning must be done according to City standards and as outlined in literature provided by the International Society of Arboriculture (ISA pruning techniques).

18. All oak tree cuts, intentional or unintentional, shall be painted immediately (within 10 minutes).

Tree point must be kept on site at all times. All pruning or cutting tools must be sterilized between cuts to prevent the spread of disease.

19. Trees approved for removal shall be removed in a manner which does not impact trees to be preserved. Refer to the City of Plflugerville Tree Technical Manual for appropriate removal methods.

20. Deviations from the above notes may be considered ordinance violations if there is substantial noncompliance or if a tree sustains damage as a result.

NOTES:

1. WHERE ANY EXCEPTIONS RESULT IN A FENCE BEING CLOSER THAN FOUR FEET (4'-0") TO A TREE TRUNK, PROTECT THE TRUNK WITH CONSTRUCTION-PLANNING A HEAD-TO-HEAD OF EDG (FEET (4'-0") OR TO THE TRUNK OF THE TREE BRANCHES.
2. ANY ROOTS EXPOSED BY DISTURBANCE SHALL BE PRUNED FLUSH WITH THE SOIL, BACKFILL, AND COVER WITH A MINIMUM OF 2" OF TOP SOIL. THE EXPOSED ROOTS SHALL BE PROTECTED BY BACLOTTED WITHIN TWO (2) DAYS, COVER THEM WITH ORGANIC MATERIAL IN A MANNER WHICH REDUCES THE RISK OF DRY ROT AND DISEASE. THE PROTECTED ROOTS SHALL BE MONITORED TO MINIMIZE DAMAGE TO EXISTING ROOTS.
3. PRIOR TO EXCAVATION OR GROVE CUTTING WITHIN TREE DRAINAGE, MAKE A CLEAN CUT BETWEEN THE EXISTING ROOTS AND UNDERSTANDING THE ROOTS OF THE EXISTING TREE TO BE REMOVED TO MINIMIZE DAMAGE TO REMAINING ROOTS.
4. TREES MUST BE HEAVILY MONITORED BY CONSTRUCTION ACTIVITIES SHALL BE INTERFERED QUOTE BY DURING PERIODS OF HOT, DRY WEATHER. TREE CROWNS SHALL BE SPRAYED WITH WATER PERIODICALLY TO PREVENT DRYING. ACTUALLY.
5. ANY TREESHEDING REQUIRED FOR THE INSTALLATION OF LANDSCAPE IRRIGATION SHALL BE PLACED AS FAR AS POSSIBLE FROM THE TREE.
6. NO LANDSCAPE PLANTING, DRESSING GREATER THAN FOUR INCHES (4") SHALL BE PERMITTED WITHIN THE DRAINAGE OF A TREE, OR SOIL, IS SPECIFIED ON THE VERTICAL PLANTING OF ANY TREE.
7. PLANNING TO BE CONSTRUCTED TO PROTECT THE ROOTS, FLAT PLANTING AND EQUIPMENT SHALL TAKE PLACE BEFORE CONSTRUCTION BEGINS.

T1	OAK	17"
T2	OAK	15"-15'-13"
7	OAK	10"
74	OAK	14"
T5	OAK	11"
76	OAK	11"
T7	HACKBERRY	13 9/16"
78	OAK	19"
T9	SPANISH OAK	13"
T10	SPANISH OAK	12"
T11	OAK	19"
T12	OAK	14"
T13	UNKNOWN	16"
T14	OAK	17"
T15	OAK	12"-10"
T16	OAK	16"
T17	OAK	14"
T18	OAK	18"
T19	OAK	19"
T20	OAK	17"
T21	UNKNOWN	16"-8"-8"-6"
T22	OAK	15"
T23	OAK	15"
T24	OAK	18"
T25	OAK	12"
T26	MESQUITE	8"

OAK	10"
PECAN	12"

* ALL TREES SHALL HAVE TREE PROTECTION

FLOODPLAIN NOTE:
NO PORTION OF THIS TRACT IS WITHIN THE LIMITS OF THE 100-YEAR FLOODPLAIN AS DEPICTED ON THE FEMA FLOOD INSURANCE RATE MAP PANEL NO. 48453C026D0, DATED AUGUST 18, 2014 FOR TRAVIS COUNTY, TEXAS. THIS DOES NOT IMPLY THAT THIS LOT WILL NOT FLOOD NOR DOES IT CREATE A LIABILITY ON THIS SURVEYOR OR COMPANY IN ANY SUCH EVENT.

LINE	BEARING	DISTANCE
L1	N 27°32'59" E	2.09'
L2	N 29°48'57" E	8.70'
L3	N 31°34'11" E	21.40'

UTILITIES NOTE:
THIS IS AN ABOVE GROUND SURVEY ONLY. ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL OF SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. ALSO, SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

