

FINAL PLAT OF CIELO SOUTH

LEGEND

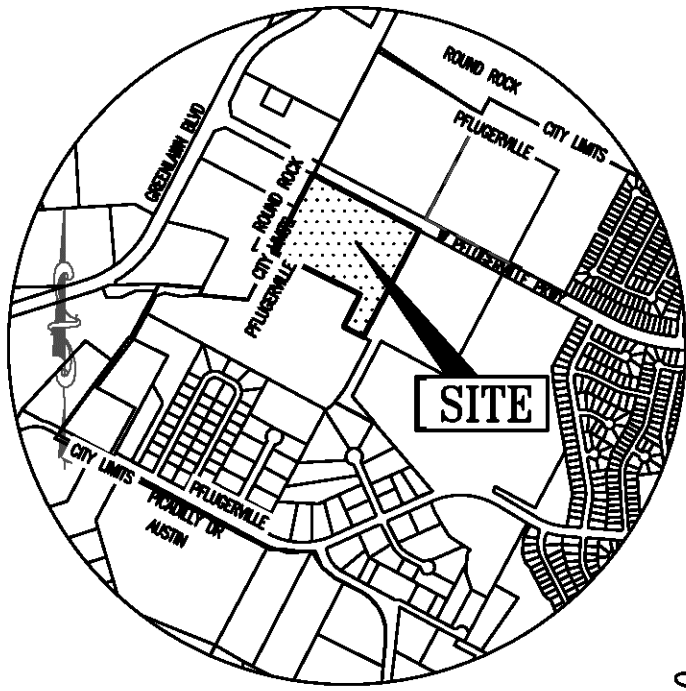
- 1/2" CAPPED IRON ROD FOUND (UNLESS OTHERWISE NOTED)
- ▲ MAG NAIL FOUND
- SURVEY LINE
- 6' SIDEWALK (UNLESS OTHERWISE NOTED)
- PUBLIC UTILITY EASEMENT
- EXISTING DRAINAGE/ELECTRIC EASEMENTS
- R.O.W. RIGHT OF WAY
- P.U.E. PUBLIC UTILITY EASEMENT
- Ⓐ BLOCK

GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

SCALE: 1" = 100'



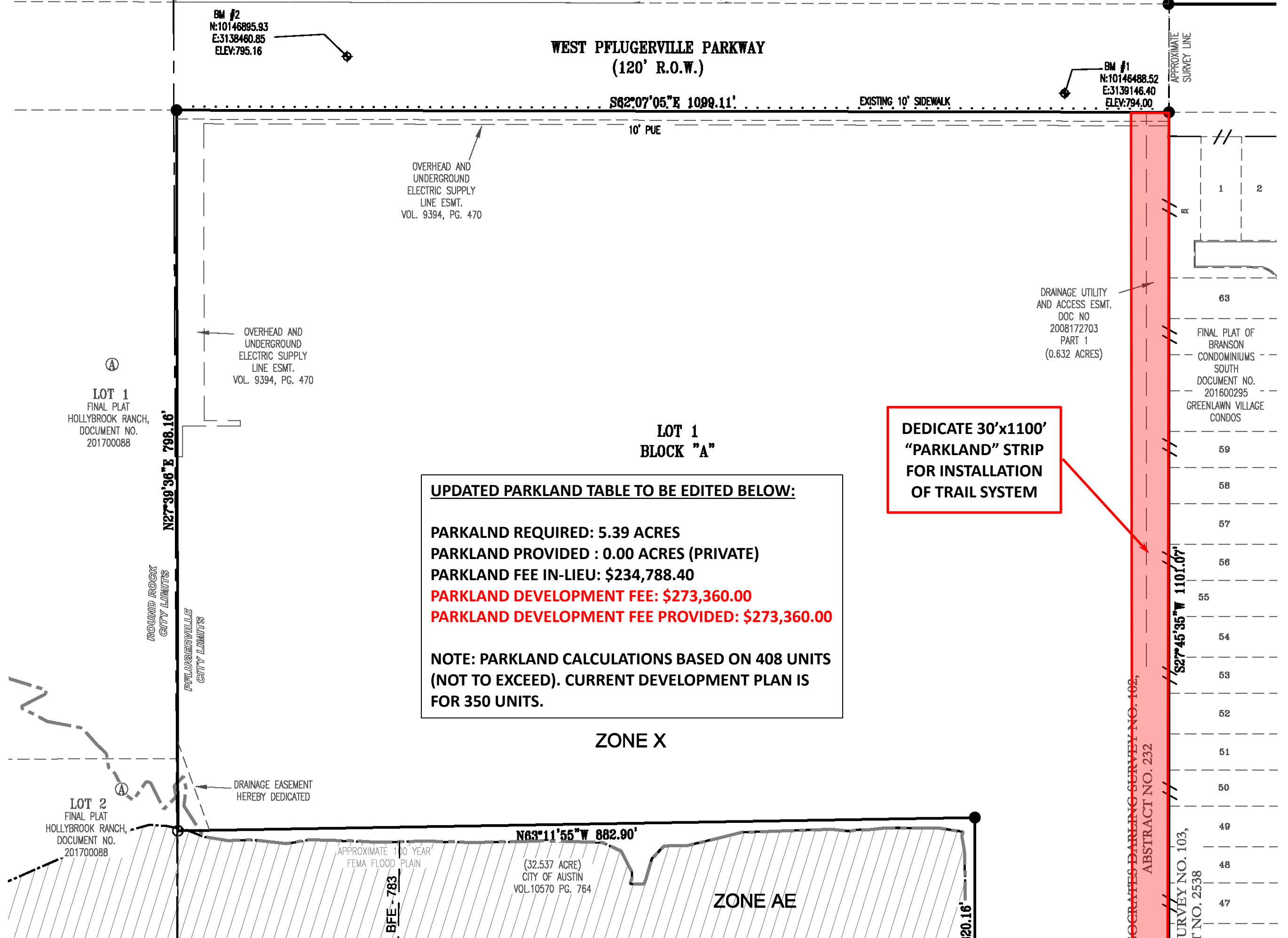
VICINITY MAP NOT TO SCALE

DAVID WILSON LEPPIN
(16.00 ACRES)
VOL. 7489, PG. 534

LOT 2, BLOCK "A"
CIELO NORTH
DOC. 2019

LOT 1, BLOCK "B"
CIELO NORTH
DOC. 2019

FINAL PLAT OF
BRANSON NORTH
DOCUMENT NO.
201800310
GREENLAWN VILLAGE
CONDOS



UPDATED PARKLAND TABLE TO BE EDITED BELOW:

PARKLAND REQUIRED: 5.39 ACRES
PARKLAND PROVIDED : 0.00 ACRES (PRIVATE)
PARKLAND FEE IN-LIEU: \$234,788.40
PARKLAND DEVELOPMENT FEE: \$273,360.00
PARKLAND DEVELOPMENT FEE PROVIDED: \$273,360.00

NOTE: PARKLAND CALCULATIONS BASED ON 408 UNITS
(NOT TO EXCEED). CURRENT DEVELOPMENT PLAN IS
FOR 350 UNITS.

ZONE X

ZONE AE

PARKLAND TABLES

PARKLAND REQUIRED	5.39 ACRES
PARKLAND PROVIDED (PRIVATE)	0.00 ACRES
PARKLAND FEE IN-LIEU	\$234,788.40
PARKLAND DEVELOPMENT FEE REQUIRED	\$202,368.00
PARKLAND DEVELOPMENT FEE PROVIDED	\$202,368.00

DATE: JULY 15, 2019

OWNER:
CIELO AUSTIN DEVELOPMENT, LLC
2414 EXPOSITION BLVD., SUITE D-210
AUSTIN, TEXAS 78703
(512) 789-5000 phone

ENGINEER & SURVEYOR:
CARLSON, BRIGANCE & DOERING, INC.
5501 WEST WILLIAM CANNON DRIVE
AUSTIN, TEXAS 78749
(512) 280-5160 phone
(512) 280-5165 fax

TOTAL ACREAGE: 21.455 ACRES
SURVEY: S. DARLING SURVEY NO. 102,
ABSTRACT 232
F.E.M.A. MAP NO. 48453C 0260J
TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS.
DATED: AUGUST 18, 2014

TOTAL OF LOTS : 1
NO. OF MULTI-FAMILY LOTS: 1 (934,580 SQ. FT)

BENCHMARKS:

#1 PK NAIL WITH WASHER SET
N:10146488.52 E:3139146.40; EL:794.00'
#2 PK NAIL WITH WASHER SET
N:10146895.93 E:3138460.85; EL:795.16'

LEGAL DESCRIPTION:
21.455 ACRES OF LAND OUT OF THE S. DARLING SURVEY NO. 102,
ABSTRACT NO. 232, TRAVIS COUNTY, TEXAS, BEING A PORTION OF A
CALLED 49.771 ACRE TRACT OF LAND CONVEYED TO CIELO AUSTIN
DEVELOPMENT, LLC, IN DOCUMENT NO. 2017169129, OF THE OFFICIAL
PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

DEDICATE 30'x1100'
"PARKLAND" STRIP
FOR INSTALLATION
OF TRAIL SYSTEM

CREATES FUTURE
ACCESS POINT TO
TRAIL THROUGH COA
POND TO FITZGERALD

& Doering, Inc.

FIRM ID #F3791

REG. # 10024900

Civil Engineering
5501 West William Cannon
Phone No. (512) 280-5160

Surveying
Austin, Texas 78749
Fax No. (512) 280-5165

PATH-J: \AC2004LP\4962\SURVEY\PLAT CIELO SOUTH.dwg