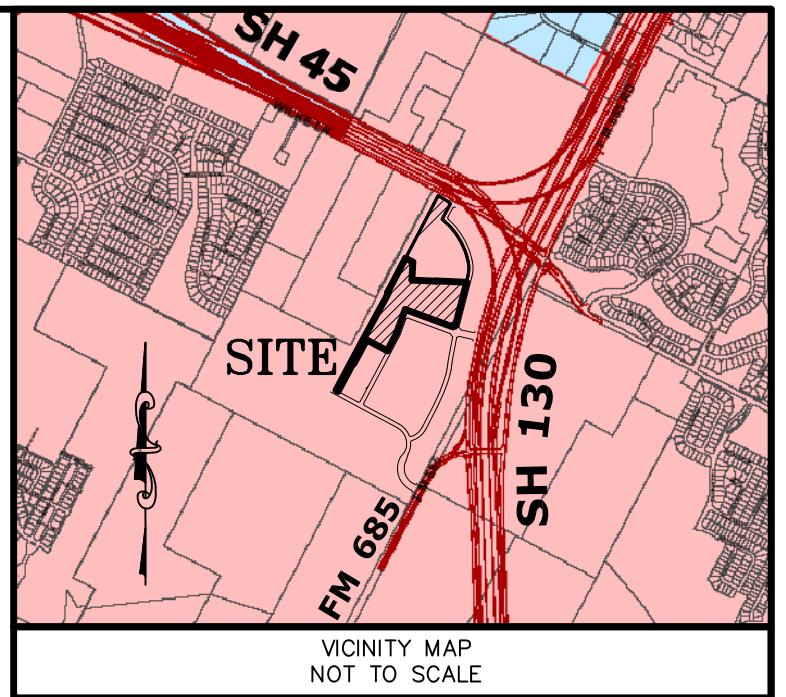


FINAL PLAT OF  
STONE HILL  
TOWN CENTER,  
LOT 14-D  
REPLAT NO. 1



STATE OF TEXAS:

KNOWN ALL MEN BY THESE PRESENTS

COUNTY OF TRAVIS:

THAT WE, A-S 93 SH 130-SH 45, L.P., A TEXAS LIMITED PARTNERSHIP, ACTING BY AND THROUGH STEVEN D. ALVIS, MANAGER OF A-S 93, L.C., A TEXAS LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER; HEREINAFTER REFERRED TO AS THE OWNER OF THE 20.3586 ACRE TRACT BEING ALL OF LOT 14-D, BLOCK 1, ACCORDING TO THE FINAL PLAT RECORDED IN DOCUMENT NUMBER 201900219 OF THE TRAVIS COUNTY MAP RECORDS, AS SAID TRACT IS DESCRIBED IN THE FOREGOING MAP OF **STONE HILL TOWN CENTER, LOT 14-D REPLAT NO. 1**, DO HEREBY MAKE AND ESTABLISH SAID SUBDIVISION AND DEVELOPMENT PLAT OF SAID PROPERTY AND HEREBY DEDICATE TO THE PUBLIC THE USE OF ALL STREETS, ALLEYS, PARKS, AND EASEMENTS SHOWN HEREON, SUBJECT TO ANY EASEMENTS OR RESTRICTIONS OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

IN TESTIMONY WHEREOF, A-S 93 SH 130-SH 45, L.P., A TEXAS LIMITED PARTNERSHIP, HAS CAUSED THESE PRESENTS TO BE SIGNED BY STEVEN D. ALVIS, MANAGER OF A-S 93, L.C., A TEXAS LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER,

THEREUNTO AUTHORIZED, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

A-S 93 SH 130-SH 45, L.P.

STEVEN D. ALVIS, MANAGER OF A-S 93 L.C.,  
GENERAL PARTNER OF A-S 93 SH 130-SH 45, L.P.

STATE OF TEXAS:

COUNTY OF \_\_\_\_\_:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED STEVEN D. ALVIS, MANAGER OF A-S 93, L.C., A TEXAS LIMITED LIABILITY COMPANY, GENERAL PARTNER OF A-S 93 SH 130-SH 45, L.P., A TEXAS LIMITED PARTNERSHIP, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT OR WRITING, ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND AND IN CAPACITY THEREIN STATED.

WITNESS MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020, A.D.

NOTARY PUBLIC'S SIGNATURE

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020, BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF PFLUGERVILLE, TEXAS, ON BEHALF OF THE CITY.

PAT EPSTEIN, CHAIR

THIS PLAT REFLECTS THE APPROVAL GRANTED BY THE PLANNING AND ZONING COMMISSION ON THE DATE INDICATED ABOVE.

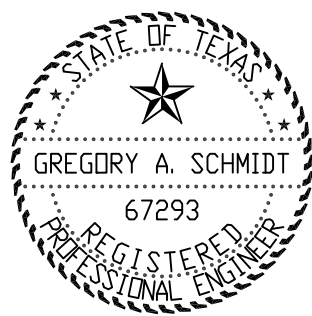
EMILY BARRON, PLANNING DIRECTOR

ATTEST:

KAREN THOMPSON, CITY SECRETARY

NO PORTION OF THIS TRACT IS WITHIN THE BOUNDARIES OF THE 100-YEAR FLOOD PLAIN OF ANY WATERWAY THAT IS WITHIN THE LIMITS OF STUDY OF THE FEDERAL FLOOD INSURANCE ADMINISTRATION, FIRM PANEL NO. 48453-C-0280 J, DATED AUGUST 18, 2014, FOR TRAVIS COUNTY, TEXAS

GREGORY A. SCHMIDT  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF TEXAS NO. 67293



STATE OF TEXAS:

KNOW ALL MEN BY THESE PRESENTS

COUNTY OF TRAVIS:

THAT I, BRIAN NESVADBA, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE LAND, AND THAT ALL CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION, IN ACCORDANCE WITH ALL CITY OF PFLUGERVILLE, TEXAS, CODES AND ORDINANCES AND THAT ALL KNOWN EASEMENTS WITHIN THE BOUNDARY OF THE PLAT ARE SHOWN HEREON.

BRIAN NESVADBA  
REGISTERED PROFESSIONAL LAND SURVEYOR  
STATE OF TEXAS NO. 5776



STATE OF TEXAS:

COUNTY OF TRAVIS:

I, DANA DEBEAUVOIR, CLERK OF TRAVIS COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT

IN WRITING, WITH ITS CERTIFICATION OR AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE

\_\_\_\_\_ DAY OF \_\_\_\_\_, 2020 A.D., AT \_\_\_\_\_ O'CLOCK \_\_M., DULY RECORDED

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020 A.D., AT \_\_\_\_\_ O'CLOCK \_\_M., OFFICIAL

PUBLIC RECORDS OF SAID COUNTY AND STATE IN DOCUMENT NUMBER \_\_\_\_\_ OFFICIAL PUBLIC

RECORDS OF TRAVIS COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE THE COUNTY CLERK, \_\_\_\_\_ DAY OF

\_\_\_\_\_, 2020. A.D.

DANA DEBEAUVOIR, COUNTY CLERK  
TRAVIS COUNTY, TEXAS

DEPUTY



~ Surveyor / Engineer ~  
**TEXAS ENGINEERING AND MAPPING COMPANY**

12718 CENTURY DRIVE  
STAFFORD, TX 77477

PHONE: 281.491.2525 FAX: 281.491.2535  
SURVEYING FIRM NO. 10119000 / ENGINEERING FIRM NO. F-2906  
www.team-civil.com  
Job No. 1322-1

FINAL PLAT OF  
STONE HILL TOWN CENTER,  
LOT 14-D REPLAT NO. 1

2 LOTS 1 BLOCK

A 20.3586 ACRE TRACT OF LAND  
BEING A REPLAT OF LOT 14-D, BLOCK 1,  
ACCORDING TO THE FINAL PLAT RECORDED IN  
DOCUMENT NO. 201900219; T.C.M.R.,  
IN THE T. G. STEWART SURVEY NO. 6,  
ABSTRACT NO. 689, CITY OF PFLUGERVILLE,  
TRAVIS COUNTY, TEXAS

REASON FOR REPLAT

TO SPLIT LOT 14-D , BLOCK 1,  
INTO TWO LOTS

~ OWNERS AND SUBDIVIDER ~

A-S 93 SH 130-SH 45, L.P.

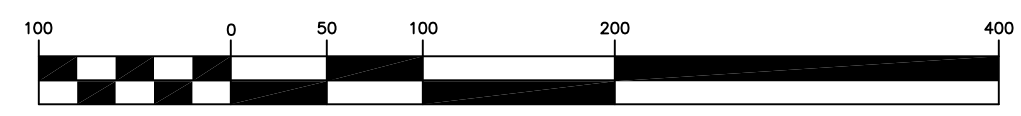
8827 W. SAM HOUSTON PARK N., SUITE 200  
HOUSTON, TX 77040  
(281) 477-4310

JULY 6, 2020

SHEET 1 OF 3

WILKE LN  
(R.O.W. VARIES)

GRAPHIC SCALE



( IN FEET )  
1 inch = 100 ft.

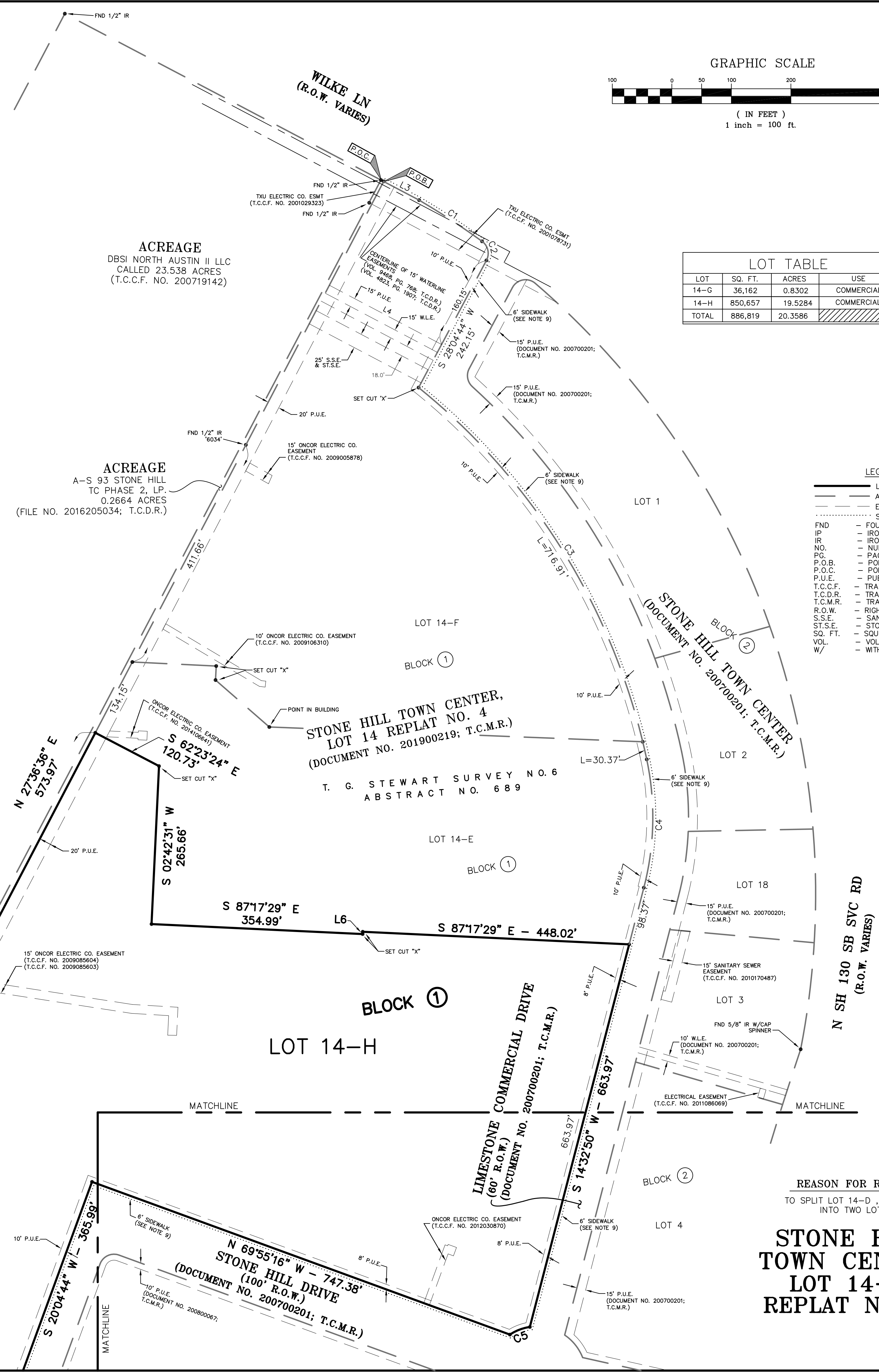
ACREAGE  
DBSI NORTH AUSTIN II LLC  
CALLED 23.538 ACRES  
(T.C.C.F. NO. 200719142)

LOT TABLE			
LOT	SQ. FT.	ACRES	USE
14-G	36,162	0.8302	COMMERCIAL
14-H	850,657	19.5284	COMMERCIAL
TOTAL	886,819	20.3586	

LEGEND

- LOT BOUNDARY
- ADJOINER BOUNDARY
- EASEMENT
- SIDEWALK
- FND - FOUND
- IP - IRON PIPE
- IR - IRON ROD
- NO. - NUMBER
- PG. - PAGE
- P.O.B. - POINT OF BEGINNING
- P.O.C. - POINT OF COMMENCEMENT
- P.U.E. - PUBLIC UTILITY EASEMENT
- T.C.C.F. - TRAVIS COUNTY CLERK'S FILE
- T.C.D.R. - TRAVIS COUNTY DEED RECORDS
- T.C.M.R. - TRAVIS COUNTY MAP RECORDS
- R.O.W. - RIGHT OF WAY
- S.S.E. - SANITARY SEWER EASEMENT
- ST.S.E. - STORM SEWER EASEMENT
- SQ. FT. - SQUARE FEET
- VOL. - VOLUME
- W/ - WITH

ACREAGE  
A-S 93 STONE HILL  
TC PHASE 2, LP.  
0.2664 ACRES  
(FILE NO. 2016205034; T.C.D.R.)



REASON FOR REPLAT  
TO SPLIT LOT 14-D, BLOCK 1,  
INTO TWO LOTS

**STONE HILL  
TOWN CENTER,  
LOT 14-D  
REPLAT NO. 1**



LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 27°55'17" E	85.78'
L2	N 60°12'07" W	14.03'
L3	S 62°14'37" E	67.34'
L4	N 62°10'49" W	213.13'
L5	S 02°44'46" W	23.54'
L6	N 02°42'31" E	3.85'

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	CHORD
C1	5°20'46"	1354.00'	126.34'	S 56°47'34" E - 126.29'
C2	82°11'56"	25.00'	35.87'	S 13°01'13" E - 32.87'
C3	39°08'13"	1094.00'	747.27'	N 31°31'53" W - 732.83'
C4	26°30'37"	470.00'	217.46'	S 01°17'32" W - 215.53'
C5	25°08'32"	82.50'	36.20'	S 69°07'07" W - 35.91'
C6	7°59'59"	170.00'	23.74'	S 24°04'43" W - 23.72'
C7	90°00'00"	25.00'	39.27'	N 73°04'43" E - 35.36'
C11	89°17'30"	25.00'	38.96'	N 32°49'42" W - 35.14'
C12	89°17'30"	25.00'	38.96'	N 57°52'47" E - 35.14'

**BENCHMARK:**  
5/8-INCH IRON ROD FOUND ALONG THE SOUTHERLY R.O.W. OF S.H. 130 WITH STAKE:  
(N 10149439.755, E 3156864.523, ELEV: 780.92')  
THIS IRON ROD WAS LOCATED WITH G.P.S. AND HAS A FOUND LOCATION OF:  
N 10,149,305.784, E 3,156,822.646, **ELEV: 780.92' (NAVD 88, GEOID 03)**

**BM EE:**  
BOX CUT ON TYPE 'C' INLET ON THE SOUTH SIDE OF TOWN CENTER DRIVE AT THE NORTHWEST CORNER OF THIS SITE.  
N 10,145,237.39, E 3,157,576.18  
ELEVATION = 732.30'

**BM UU:**  
BOX CUT ON THE SECOND TYPE 'C' INLET LOCATED ON THE EAST SIDE OF HILLTOP COMMERCIAL DRIVE, NORTH OF TOWN CENTER DRIVE.  
N 10,145,386.44, E 3,158,051.15  
ELEVATION=741.67'

**ACREAGE**  
DBSI NORTH AUSTIN III LLC  
CALLED 41.317 ACRES  
(T.C.C.F. NO. 2007227199)

LOT 14-G

15' DRAINAGE EASEMENT  
(T.C.C.F. NO. 2020075183)

**ACREAGE**  
A-S 93 SH 130-SH 45, L.P.  
(T.C.C.F. NO. 2007090027)

15' STORM SEWER EASEMENT  
(T.C.C.F. NO. 2017151683)

**FINAL PLAT**  
(STONE HILL TOWN CENTER,  
LOT 14 REPLAT NO. 2)  
(DOCUMENT NO. 201800198; T.C.M.R.)

**STONE HILL TOWN CENTER,**  
LOT 14 REPLAT NO. 2  
(DOCUMENT NO. 201700189; T.C.M.R.)

**STONE HILL TOWN CENTER,**  
LOT 14 REPLAT NO. 1  
(DOCUMENT NO. 201700177; T.C.M.R.)

**STONE HILL TOWN CENTER**  
(DOCUMENT NO. 200700201; T.C.M.R.)

**REASON FOR REPLAT**

TO SPLIT LOT 14-D , BLOCK 1,  
INTO TWO LOTS

LOT 14-H

BLOCK ①

LOT 14-C

LOT 14-B

LOT 14-A

LOT 12

LOT 10

LOT 17

LOT 15

LOT 9

S 87°17'29" E  
354.99'

L6

LOT 14-H

MATCHLINE

MATCHLINE

GRAPHIC SCALE



( IN FEET )  
1 inch = 100 ft.



LOT 13

BLOCK ③

**STONE HILL TOWN CENTER,**  
BLOCK 3 AMENDING PLAT  
(DOCUMENT NO. 200800067; T.C.M.R.)

**LIMESTONE COMMERCIAL DRIVE**  
(60' R.O.W.)  
(DOCUMENT NO. 200700201; T.C.M.R.)

**STONE HILL  
TOWN CENTER,  
LOT 14-D  
REPLAT NO. 1**

SHEET 3 OF 3