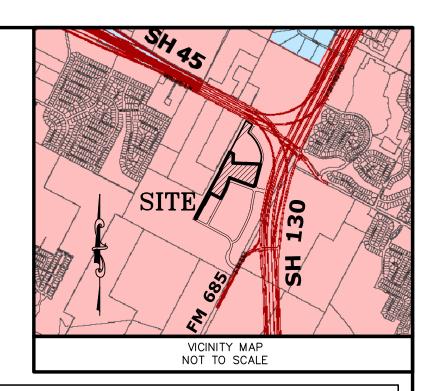
FINAL PLAT OF

## STONE HILL TOWN CENTER, LOT 14-D REPLAT NO. 1



STATE OF TEXAS:

KNOWN ALL MEN BY THESE PRESENTS

COUNTY OF TRAVIS:

THAT WE, A-S 93 SH 130-SH 45, L.P., A TEXAS LIMITED PARTNERSHIP, ACTING BY AND THROUGH STEVEN D. ALVIS, MANAGER OF A-S 93, L.C., A TEXAS LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER; HEREINAFTER REFERRED TO AS THE OWNER OF THE 20.3586 ACRE TRACT BEING ALL OF LOT 14-D, BLOCK 1, ACCORDING TO THE FINAL PLAT RECORDED IN DOCUMENT NUMBER 201900219 OF THE TRAVIS COUNTY MAP RECORDS, AS SAID TRACT IS DESCRIBED IN THE FOREGOING MAP OF STONE HILL TOWN CENTER, LOT 14-D REPLAT NO. 1, DO HEREBY MAKE AND ESTABLISH SAID SUBDIVISION AND DEVELOPMENT PLAT OF SAID PROPERTY AND HEREBY DEDICATE TO THE PUBLIC THE USE OF ALL STREETS, ALLEYS, PARKS, AND EASEMENTS SHOWN HEREON, SUBJECT TO ANY EASEMENTS OR RESTRICTIONS OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

IN TESTIMONY WHEREOF, A-S 93 SH 130-SH 45, L.P., A TEXAS LIMITED PARTNERSHIP, HAS CAUSED THESE PRESENTS TO BE SIGNED BY STEVEN D. ALVIS, MANAGER OF A-S 93, L.C., A TEXAS LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER,

THEREUNTO AUTHORIZED, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

A-S 93 SH 130-SH 45, L.P.

STEVEN D. ALVIS, MANAGER OF A-S 93 L.C., GENERAL PARTNER OF A-S 93 SH 130-SH 45, L.P.

STATE OF TEXAS: COUNTY OF \_

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED STEVEN D. ALVIS, MANAGER OF A-S 93, L.C., A TEXAS LIMITED LIABILITY COMPANY, GENÉRAL PARTNER OF A-S 93 SH 130-SH 45, L.P., A TEXÁS LIMITED PARTNERSHIP, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT OR WRITING, ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND AND IN CAPACITY THEREIN STATED.

WITNESS MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020, A.D.

NOTARY PUBLIC'S SIGNATURE

\_\_\_\_, 2020, BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF \_\_\_ DAY OF PFLUGERVILLE, TEXAS, ON BEHALF OF THE CITY.

PAT EPSTEIN, CHAIR

EMILY BARRON, PLANNING DIRECTOR

ATTEST:

KAREN THOMPSON, CITY SECRETARY

NO PORTION OF THIS TRACT IS WITHIN THE BOUNDARIES OF THE 100-YEAR FLOOD PLAIN OF ANY WATERWAY THAT IS WITHIN THE LIMITS OF STUDY OF THE FEDERAL FLOOD INSURANCE ADMINISTRATION, FIRM PANEL NO. 48453-C-0280 J, DATED AUGUST 18, 2014, FOR TRAVIS COUNTY, TEXAS

GREGORY A. SCHMIDT REGISTERED PROFESSIONAL ENGINEER STATE OF TEXAS NO. 67293



STATE OF TEXAS:

KNOW ALL MEN BY THESE PRESENTS COUNTY OF TRAVIS:

THAT I, BRIAN NESVADBA, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE LAND, AND THAT ALL CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION, IN ACCORDANCE WITH ALL CITY OF PFLUGERVILLE, TEXAS, CODES AND ORDINANCES AND THAT ALL KNOWN EASEMENTS WITHIN THE BOUNDARY OF THE PLAT ARE SHOWN HEREON.

BRIAN NESVADBA REGISTERED PROFESSIONAL LAND SURVEYOR STATE OF TEXAS NO. 5776



STATE OF TEXAS: COUNTY OF TRAVIS:

I, DANA DEBEAUVOIR, CLERK OF TRAVIS COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT IN WRITING, WITH ITS CERTIFICATION OR AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020 A.D., AT \_\_\_\_\_ O'CLOCK \_\_.M., DULY RECORDED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_\_, 2020 A.D., AT \_\_\_\_\_ O'CLOCK \_\_.M., OFFICIAL PUBLIC RECORDS OF SAID COUNTY AND STATE IN DOCUMENT NUMBER \_\_\_\_\_\_ OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY

WITNESS MY HAND AND SEAL OF OFFICE THE COUNTY CLERK, \_\_\_\_ DAY OF .\_\_\_\_, 2020. A.D.

DANA DEBEAUVOIR, COUNTY CLERK TRAVIS COUNTY, TEXAS

DEPUTY





TEXAS ENGINEERING AND MAPPING COMPANY 12718 CENTURY DRIVE

~ Surveyor / Engineer ~

STAFFORD, TX 77477 FAX: 281.491.2535

PHONE: 281.491.2525 SURVEYING FIRM NO. 10119000 / ENGINEERING FIRM NO. F-2906 www.team-civil.com

Job No. 1322-1

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY PANEL NO. 48453-C-0280 J, EFFECTIVELY DATED AUGUST 18, 2014, THIS PROPERTY LIES IN ZONE "X", AN AREA NOT CONSIDERED IN THE 3.) THIS PLAT LIES WITHIN THE CITY OF PFLUGERVILLE FULL PURPOSE JURISDICTION. 4.) WATER AND WASTEWATER SHALL BE PROVIDED BY THE CITY OF PFLUGERVILLE. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO

5.) A 10—FT PUBLIC UTILITY EASEMENT (P.U.E.) SHALL BE DEDICATED ALONG ALL STREET FRONTAGE EXCEPT WHERE LABELED AS 8—FT PUBLIC UTILITY EÁSEMENT (P.U.E.) AS REVISED AND DEDICATED PER THE "STONE HILL TOWN CENTER LOT 14 AMENDING PLAT" AS RECORDED IN PLAT NO. 201100138; T.C.M.R.

1.) BEARINGS SHOWN HEREON ARE BASED ON THE NORTHWEST RIGHT-OF-WAY LINE OF F.M. 685, THE BEARING BEING S 27'23'59" W

SEE ORIGINAL PLAT OF STONE HILL TOWN CENTER (DOCUMENT NO. 200700201; T.C.M.R.) FOR MORE INFORMATION

6.) EASEMENT(S) DEDICATED TO THE PUBLIC BY THIS PLAT SHALL ALSO BE SUBJECT TO THE TERMS AND CONDITIONS OF THE ENGINEERING DESIGN MANUAL PER ORDINANCE NO. 1206-15-02-24. THE GRANTOR, HEIRS, AND ASSIGNS SHALL RETAIN THE OBLIGATION TO MAINTAIN THE SURFACE OF THE EASEMENT PROPERTY, INCLUDING THE OBLIGATION TO REGULARLY MOW OR CUT BACK VEGETATION AND TO KEEP THE SURFACE OF THE EASEMENT PROPERTY FREE OF LITTER, DEBRIS, AND TRASH.

NO IMPROVEMENTS INCLUDING BUT NOT LIMITED TO STRUCTURES, FENCES, OR LANDSCAPING SHALL BE ALLOWED IN A PUBLIC EASEMENT, EXCEPT AS APPROVED BY THE CITY.

THE PROPERTY OWNER SHALL PROVIDE ACCESS TO DRAINAGE AND UTILITY EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS FOR THE PLACEMENT, CONSTRUCTION, INSTALLATION, REPLACEMENT, REPAIR, MAINTENANCE, RELOCATION, REMOVAL, OPERATION AND INSPECTION OF SUCH DRAINAGE

9.) A SIX (6) FOOT WIDE SIDEWALK SHALL BE PROVIDED ON BOTH SIDES OF THE STREET. SIDEWALKS TO BE BUILT AT TIME OF SITE DEVELOPMENT, IF NOT ALREADY EXISITING.

10.) THIS SUBDIVISION IS SUBJECT TO ALL CITY OF PFLUGERVILLE ORDINANCES OR TECHNICAL MANUALS RELATED TO TREE PRESERVATION PER CITY ORDINANCE # 1203-15-02-24 AND CITY RESOLUTION # 1224-09-08-25-8A.

THE ASSESSED COMMUNITY IMPACT FEE RATE FOR WATER AND WASTEWATER IS HEREBY ACCESSED AND ESTABLISHED ACCORDING TO THE CITY OF PFLUGERVILLE ORDINANCE NO. 1440-20-04-14. COMMUNITY IMPACT FEES FOR INDIVIDUAL LOTS SHALL BE PAID PRIOR TO THE ISSUANCE OF ANY BUILDING

12.) THIS SUBDIVISION SHALL MITIGATE POST-DEVELOPMENT PEAK RUNOFF RATES FOR THE 2 YEAR, 25 YEAR, AND 100 YEAR STORM EVENTS.

13.) ALL ELECTRICAL UTILITY INFRASTRUCTURE INCLUDING BUT NOT LIMITED TO TELEPHONE, CABLE TELEVISION, ELECTRIC UTILITY LATERAL AND SERVICE LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF PFLUGERVILLE ENGINEERING DESIGN MANUAL.

THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF PFLUGERVILLE.

CONSTRUCTION PLANS AND SPECIFICATIONS FOR ALL SUBDIVISION IMPROVEMENTS SHALL BE REVIEWED AND APPROVED BY THE CITY OF PFLUGERVILLE PRIOR TO ANY CONSTRUCTION WITHIN THE SUBDIVISION.

16.) SITE DEVELOPMENT CONSTRUCTION PLANS SHALL BE REVIEWED AND APPROVED BY THE CITY OF PFUGERVILLE, DEVELOPMENT SERVICES, PRIOR TO ANY

ALL PROPOSED FENCES AND WALLS ADJACENT TO THE INTERSECTING PUBLIC ROADWAY RIGHT-OF-WAY OR ADJACENT TO PRIVATE ACCESS DRIVES SHALL BE IN COMPLIANCE WITH THE SITE DISTANCE REQUIREMENTS OF THE CITY OF PFLUGERVILLE ENGINEERING DESIGN MANUAL, AS AMENDED.

18.) WASTEWATER AND WATER SYSTEMS SHALL CONFORM TO TCEQ AND STATE BOARD OF INSURANCE REQUIREMENTS. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR RE-PLATTING MAY BE REQUIRED AT THE OWNER'S SOLE EXPENSE IF PLANS TO DEVELOP THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.

19.) • - INDICATES A SET 5/8" IRON ROD WITH CAP STAMPED: T.E.A.M. 281-491-2525, UNLESS OTHERWISE NOTED.

20) SUBJECT TO TERMS, CONDITIONS, AND STIPULATIONS SET FORTH IN DECLARATION OF COVENANTS, RESTRICTIONS, EASEMENTS, CHARGES AND LIENS FOR STONE HILL TOWN CENTER, RECORDED MAY 18, 2007, UNDER COUNTY CLERK'S FILE NO. 2007090034, OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS.

21.) SUBJECT TO TERMS, CONDITIONS, AND STIPULATIONS SET FORTH IN RESTRICTION AND EASEMENT AGREEMENT BETWEEN A—S 93 SH 13—SH 45, L.P., STONE HILL NQ 2005-A, LLC, STONE HILL NQ 2006-A, LLC, AND HOME DEPOT USA, INC., RECORDED JULY 2, 2007, UNDER COUNTY CLERK'S FILE NO. 2007120877, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

22.) SUBJECT TO TERMS, CONDITIONS, AND STIPULATIONS SET FORTH IN APPROVAL, CONSENT AND AGREEMENT OF DECLARANT, THE ASSOCIATION AND THE CWŚC, RECORDED JULY 2, 2007, UNDER COUNTY CLERK'S FILE NO. 2007120880, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

23.) SUBJECT TO TERMS, CONDITIONS, AND STIPULATIONS SET FORTH IN APPROVAL, CONSENT AND AGREEMENT OF DECLARANT, THE ASSOCIATION AND THE CWSC, RECORDED JUNE 11, 2010, UNDER COUNTY CLERK'S FILE NO. 2010083659, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

24.) SUBJECT TO TERMS, CONDITIONS, AND STIPULATIONS SET FORTH IN INSTRUMENT TO RECORD DEDICATORY INSTRUMENTS FOR STONE HILL MAINTENANCE ASSOCIATION, INC., RECORDED AUGUST 4, 2010, UNDER COUNTY CLERK'S FILE NO. 2010112285, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS,

SUBJECT TO TERMS, CONDITIONS, AND STIPULATIONS SET FORTH IN ORDINANCE NO. 720-03-11-11 RECORDED UNDER DOCUMENT NO. 2003297149, OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS.

26.) SUBJECT TO TERMS, CONDITIONS, AND STIPULATIONS SET FORTH IN OPERATION AND EASEMENT AGREEMENT BETWEEN TARGET CORPORATION AND A-S 93 SH 130-SH 45, LP, AND RECORDED APRIL 14, 2008, UNDER COUNTY CLERK'S FILE NO. 2008059470, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, AND FIRST AMENDMENT TO OPERATION AND EASEMENT AGREEMENT RECORDED NOVEMBER 23, 2010, UNDER COUNTY CLERK'S FILE NO. 200174381, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY TEXAS

27.) SUBJECT TO TERMS, CONDITIONS, AND STIPULATIONS SET FORTH IN SANITARY SEWER EASEMENT AGREEMENT BETWEEN RANDOLPH-BROOKS FEDERAL CRÉDIT UNION AND A-S 93 SH 130-SH 45, LP, RECORDED NOVEMBER 16, 2010, UNDER COUNTY CLERK'S FILE NO. 2010170487, OFFICIAL PUBLIC RECORDS OF

28.) SUBJECT TO TERMS, CONDITIONS, AND STIPULATIONS SET FORTH IN MEMORANDUM OF EXCLUSIVE AND RIGHT OF FIRST REFUSAL RECORDED APRIL 19, 2011, UNDER COUNTY CLERK'S FILE NO. 2011055655, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

29.) SUBJECT TO TERMS, CONDITIONS, AND STIPULATIONS SET FORTH IN EASEMENT AGREEMENT BETWEEN RANDOLPH-BROOKS FEDERAL CREDIT UNION AND A-S 93 SH 130-SH 45, L.P., RECORDED JUNE 15, 2011, UNDER COUNTY CLERK'S FILE NO. 2011086069, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

30.) SUBJECT TO TERMS, CONDITIONS, AND STIPULATIONS CONTAINED IN LEASES, RECORDED UNDER COUNTY CLERK'S FILE NO. 2007230685, 2008087890, 2009157929, 2010093494, 2010124064, 2012203005, 2012204598, 2014058082 AND 2014084393 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, TOGETHER WITH ALL RIGHTS INCIDENT TO THE OWNERS AND LESSEES OF THE MINERALS.

31.) SUBJECT TO TERMS, CONDITIONS, AND STIPULATIONS SET FORTH IN DECLARATION OF COVENANTS, RESTRICTIONS, EASEMENTS, SET FORTH BY PLAT FILED OF RECORD UNDER DOCUMENT NO. 201900219, OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, AND BY INSTRUMENT(S) FILED OF RECORD UNDER CLERK'S FILE NO(S). 2007090034, 2007120877 (AMENDED IN 2008059467), 2008059468, 2008059470 (AMENDED IN 2010174381, 2018159124 AND 2019132003), 2010112285, 2011000891, 2013227 430 AND 2017029380, 2018013466 AND 2018085808.

32.) SUBJECT TO TERMS, CONDITIONS, AND STIPULATIONS TO EASEMENTS GRANTED TO:

 TEXAS POWER AND LIGHTING CO. IN VOLUME 551, PAGE 107 OF THE TRAVIS COUNTY DEED RECORDS.
SOUTHWESTERN BELL TELEPHONE CO. IN VOLUME 687, PAGE 200 OF THE TRAVIS COUNTY DEED RECORDS. MANVILLE WATER SUPPLY CORP. IN VOLUME 4822, PAGE 1533 OF THE TRAVIS COUNTY DEED RECORDS. SAID EASEMENTS ARE NOT PLOTTABLE.

FINAL PLAT OF

## STONE HILL TOWN CENTER, LOT 14-D REPLAT NO. 1

2 LOTS 1 BLOCK

A 20.3586 ACRE TRACT OF LAND BEING A REPLAT OF LOT 14-D, BLOCK 1, ACCORDING TO THE FINAL PLAT RECORDED IN DOCUMENT NO. 201900219; T.C.M.R., IN THE T. G. STEWART SURVEY NO. 6, ABSTRACT NO. 689, CITY OF PFLUGERVILLE, TRAVIS COUNTY, TEXAS

REASON FOR REPLAT

TO SPLIT LOT 14-D, BLOCK 1, INTO TWO LOTS

~ OWNERS AND SUBDIVIDER ~

A-S 93 SH 130-SH 45, L.P.

8827 W. SAM HOUSTON PARK N., SUITE 200 HOUSTON, TX 77040 (281) 477-4310

JULY 6, 2020

